

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	

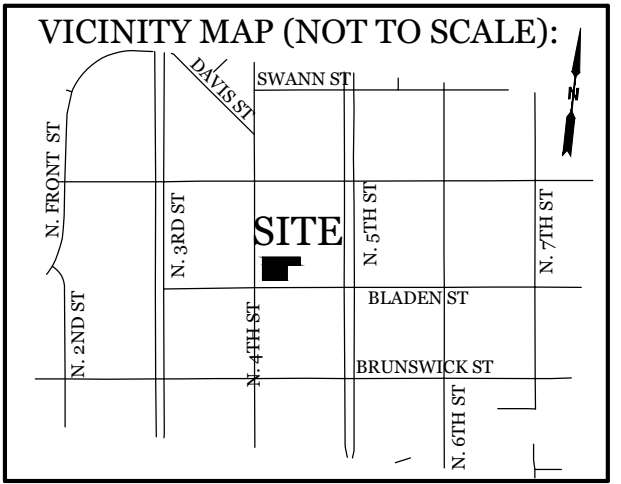
SITE DATA

PARCEL ID: R04809-038-029-000
CURRENT ZONING: CBD
CAMA LAND USE CLASSIFICATION: URBAN
PROJECT ADDRESS: 401 BLADEN ST. WILMINGTON, NC 28401
CURRENT OWNER: DAVID LISLE 614 MARKET ST. WILMINGTON, NC 28401

TOTAL ACREAGE IN PROJECT BOUNDARY: 12.573 S.F. (±0.29 ac.)
EXISTING ONSITE IMPERVIOUS AREAS: SITE IS VACANT
SOIL TYPE: Ku (Kureb-Urban land complex) (Per the USDA websoil survey map)

- NOTES:**
- EXISTING SURVEY DATA PROVIDED BY VERNON DEREK DANFORD, N.C. PLS No. L-4528
 - THIS LOT IS LOCATED IN ZONE "X" PER FRIS ON FIRM MAP NUMBER 3720311800L DATED: 08/28/2018.
 - NO WETLANDS EXIST ON SITE.
 - THIS PROPERTY IS NOT AFFECTED BY AN AEC.
 - NO CONSERVATION RESOURCES EXIST ON SITE.
 - THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
 - NO REGULATED TREES EXIST ON SITE.
 - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED TO RESTRICT SEDIMENT LEAVING THE SITE.
 - PLEASE COORDINATE WITH CITY OF WILMINGTON URBAN FORESTRY DEPARTMENT EXACT LOCATION FOR RELOCATED 3" REDBUD STREET TREE.

RECEIVED
By waltonj at 3:08 pm, Sep 28, 2020

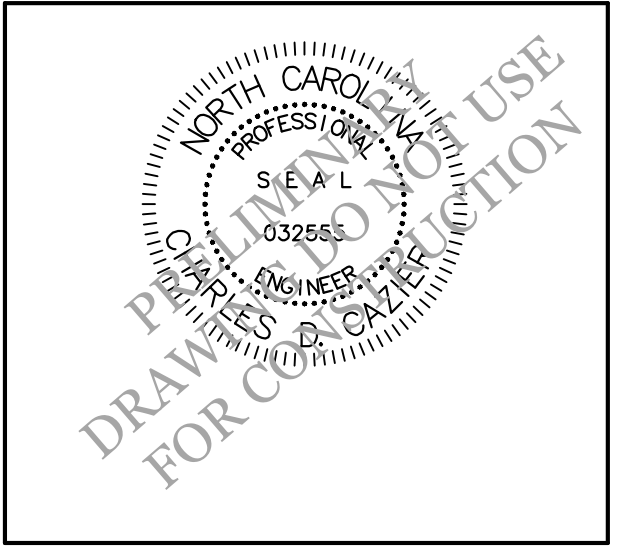


REVISIONS

No.	Description

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

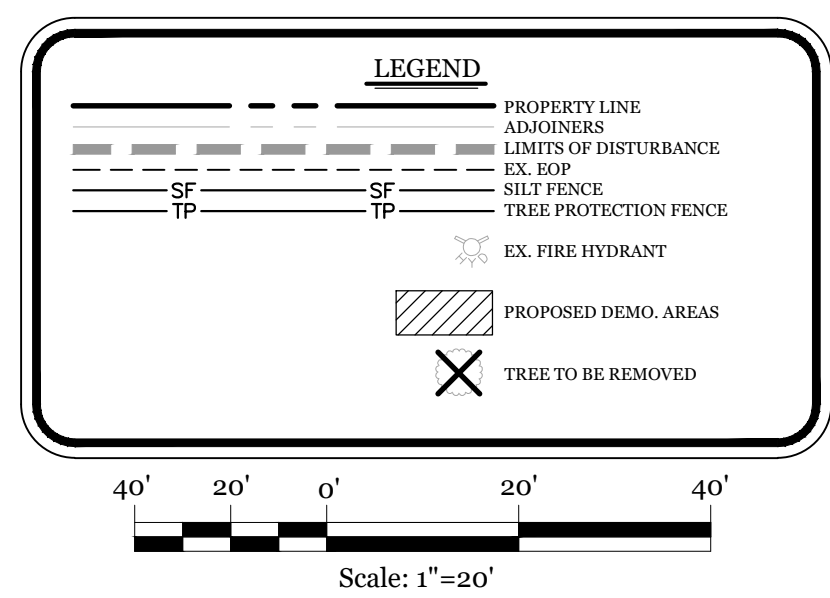
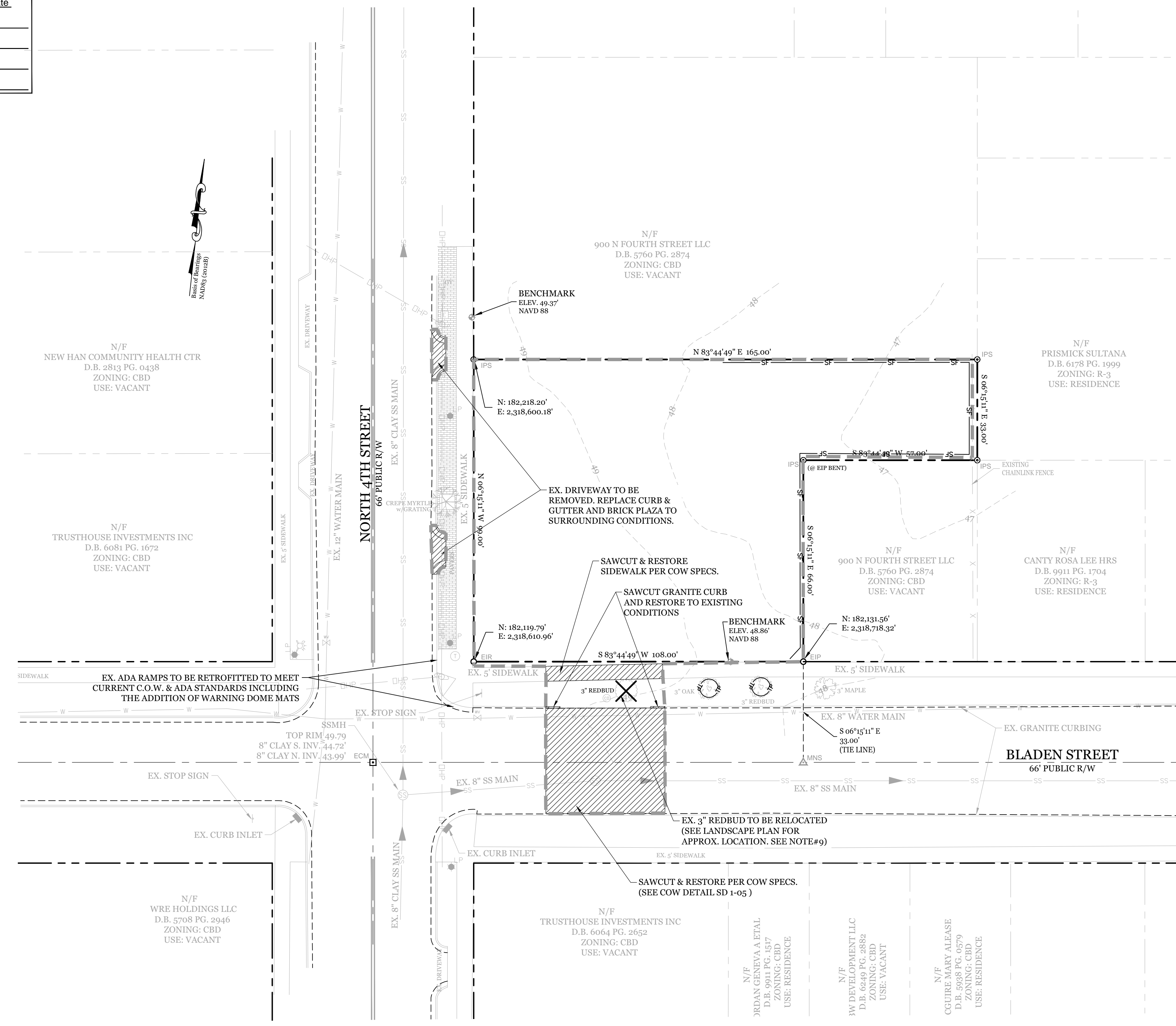
EXISTING CONDITIONS, TREE REMOVAL/PROTECTION & DEMOLITION PLAN
FOR
THE MODERN
401 BLADEN ST.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
Lisle Architecture & Design, Inc.
David Lisle
614 Market St.
Wilmington, NC 28401
Ph. 910-763-6053

DRAWN: JAE	SHEET SIZE: 24x36
CHECKED: CDC	DATE: 9/18/2020
APPROVED: CDC	SCALE: 1" = 20'
PROJECT NUMBER: 2020-006	

DRAWING NUMBER: **C-0**
1 OF 5

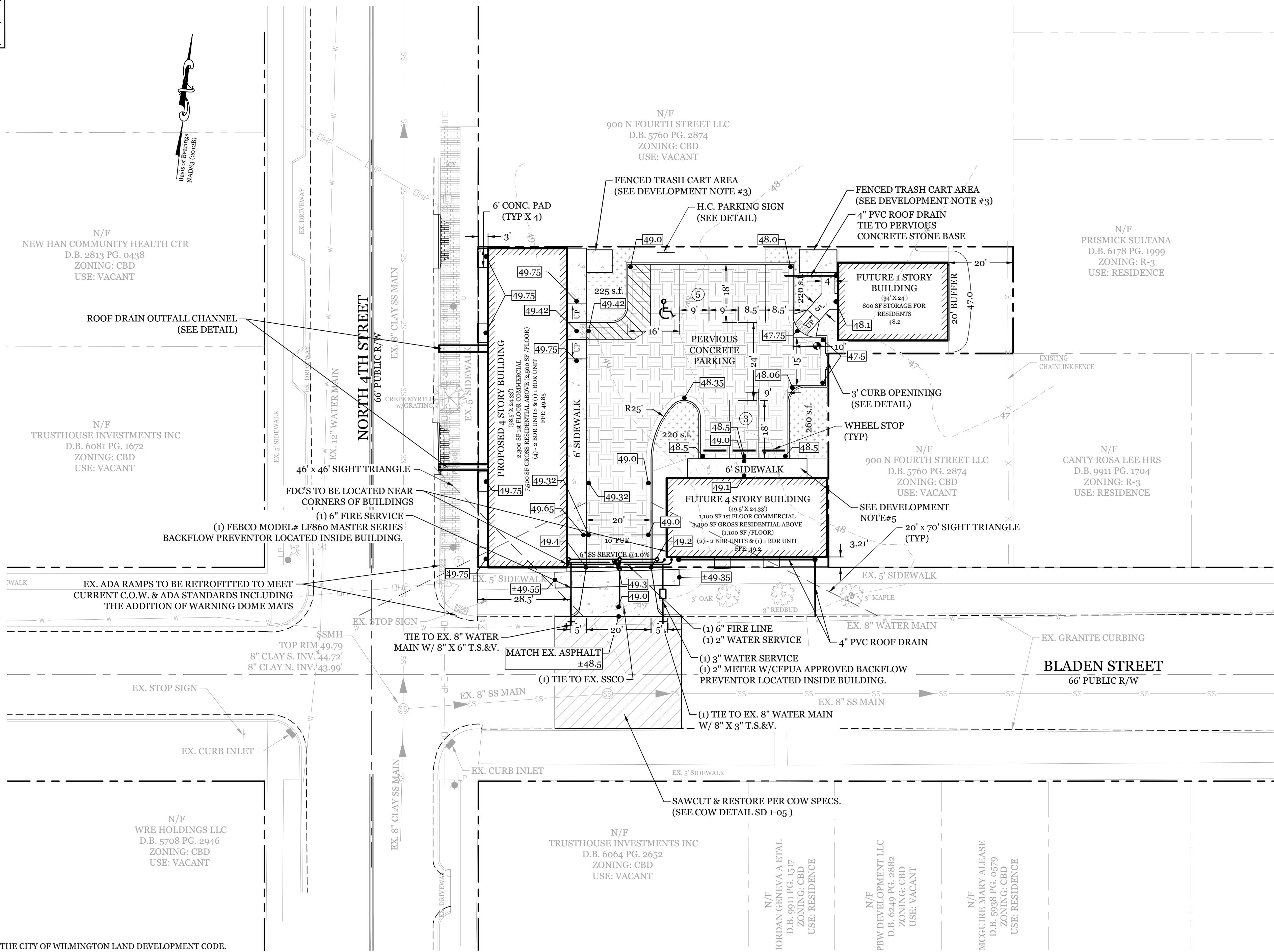


Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name	Date
Planning	
Public Utilities	
Traffic	
Fire	



DEVELOPMENT NOTES:

1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
3. FENCED TRASH CART AREA(S) SHALL BE COMPLETELY ENCLOSED AND SCREENED WITH A SHADOWBOX STYLE FENCE. THE ENCLOSURE SHALL BE AT LEAST ONE (1) FOOT TALLER THAN THE HIGHEST POINT OF THE TRASH RECEPTACLE, CHAIN LINK AND EXPOSED CONCRETE BLOCKS ARE PROHIBITED.
4. ALL ROOF RUNOFF TO BE DIRECTED TO PERVIOUS CONCRETE PARKING AREA.
5. PROPOSED VEGETATION TO BE REMOVED AT TIME OF FUTURE BUILDING AND SIDEWALK CONSTRUCTION.

FIRE & SAFETY NOTES:

1. CONSTRUCTION TYPE: V-B (COMMERCIAL)
2. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3'-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
3. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
4. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.
5. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
6. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
7. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT.
8. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0666
9. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
10. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
11. STANDPIPE(S) WILL BE REQUIRED BECAUSE THE FLOOR ELEVATION IS GREATER THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS
12. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE SITE.

TRAFFIC NOTES:

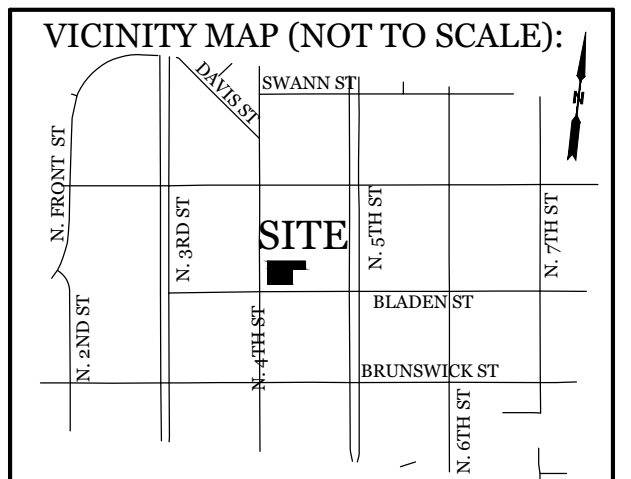
1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-13 COFW TECH STDS]
2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-13 COFW TECH STDS]
3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
6. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. [SD 15 -14 COFW TECH STDS]
7. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
8. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10'.

UTILITY NOTES:

1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
3. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPWA TECHNICAL SPECIFICATIONS & STANDARDS.
4. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL." CALL 332-6558 FOR INFORMATION.
5. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCPCCHR OR ASSE.
6. IF CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
7. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF UTILITIES.
8. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
9. SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
10. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 D.I.P. WITH PROTECTO 401 CERAMIC EPOXY LINING.
11. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
12. NO FLEXIBLE COUPLINGS SHALL BE USED.
13. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
15. THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.
16. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. * BELLSOUTH & C&W WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
17. SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.
18. SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.
19. NO SITE LIGHTING IS PROPOSED. ANY FUTURE EXTERIOR SITE LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE DIRECTLY ONTO ADJACENT PARCELS.

SITE DATA

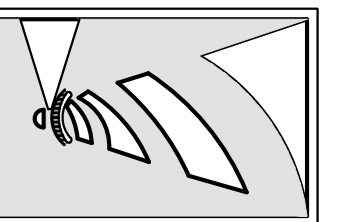
PARCEL ID:	R04809-038-029-000	
CURRENT ZONING:	CBD	
CAMA LAND USE CLASSIFICATION:	URBAN	
PROJECT ADDRESS:	401 BLADEN ST. WILMINGTON, NC 28401	
CURRENT OWNER:	DAVID LISLE 614 MARKET ST. WILMINGTON, NC 28401	
TOTAL ACREAGE IN PROJECT BOUNDARY:	12,573 S.F. (+0.29 ac.)	
TOTAL DISTURBED AREA:	0.33 ACRES	
NUMBER OF BUILDINGS:	3	
NUMBER OF RESIDENTIAL UNITS:	8 TOTAL (6 @ 2 BDR & 2 @ 1 BDR)	
TOTAL BUILDING SIZE IN GFA:	COMMERCIAL: 3,400 S.F. RESIDENTIAL: 10,800 S.F. RES. STORAGE: 800 S.F. TOTAL: 15,000 S.F. GFA	
See plan for individual building breakdowns		
BUILDING HEIGHT:	±50' / 4 STORY (60' MAX. ALLOWED)	
BUILDING SETBACKS:		
FRONT:	REQUIRED= 0'	
SIDE:	REQUIRED= 0'	
REAR:	REQUIRED= 0'	
PROPOSED= VARIES/SEE PLAN		
PROPOSED= VARIES/4' MAX		
PROPOSED= VARIES/20' MIN		
CALCULATION FOR BUILDING COVERAGE:		
PROPOSED COVERAGE:	4,715 S.F. ÷ 12,537 S.F. = 37.6%	
PROPOSED ON-SITE IMPERVIOUS AREAS:		
BUILDING ROOF:	4,715 S.F.	
CONCRETE SIDEWALK, C&G, ETC. TOTAL:	1,645 S.F. 6,360 S.F. (50.1%)	
PROPOSED ON-SITE PERVIOUS AREAS:		
PERVIOUS CONCRETE PARKING:	3,834 S.F.	
PROPOSED OFF-SITE PERVIOUS AREAS:		
CONC. SIDEWALK / DRIVEWAY APRON *INCLUDING REPLACEMENT SIDEWALK:	430 S.F.*	
OFF STREET PARKING REQUIRED:		
REQUIRED:	NO MINIMUM REQUIRED	
MIN:	37 SPACES	
MAX: 2.5 Spaces/du + 1/200 sq.ft. Commercial=		
PROPOSED:	8 SPACES (1 H.C. SPACE)	
BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)		
REQUIRED:	0 SPACES	
PROVIDED:	0 SPACES	
ESTIMATED TRIP GENERATION (Per Trip Generation Manual, 10th Edition):		
8 RESIDENTIAL UNITS (ITE CODE 231)		
AM PEAK: 2	PM PEAK: 3	DAILY: 28
3,400 SF OFFICE (ITE CODE 710)		
AM PEAK: 4	PM PEAK: 4	DAILY: 33
PROJECT TOTAL		
AM PEAK: 6	PM PEAK: 7	DAILY: 61
EXISTING SEWER AND WATER DEMAND=	0 GPD	
PROPOSED SEWER AND WATER DEMAND:	2,295 GPD	



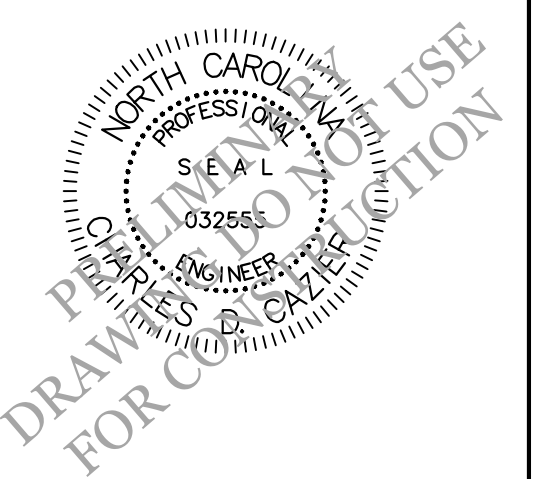
REVISIONS

NO.	DESCRIPTION

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr., Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662



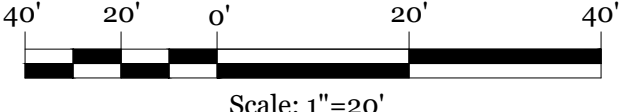
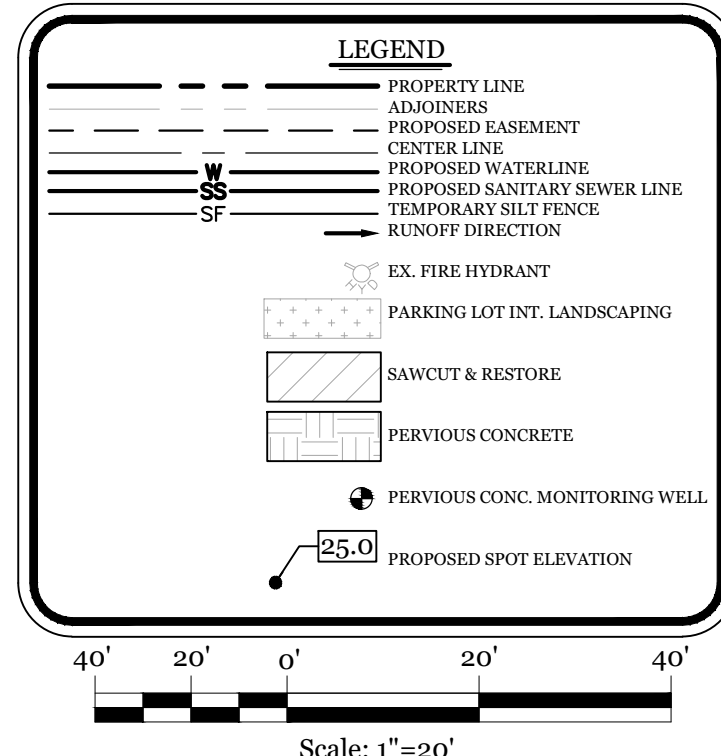
SITE, GRADING, DRAINAGE, & UTILITIES PLAN
FOR
THE MODERN
401 BLADEN ST.
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
Lisle Architecture & Design, Inc.
David Lisle
614 Market St.
Wilmington, NC 28401
Ph. 910-763-6053

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	9/18/2020
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2020-006		

DRAWING NUMBER: **C-1**
2 OF 5



Date: _____ Permit # _____ Signed: _____

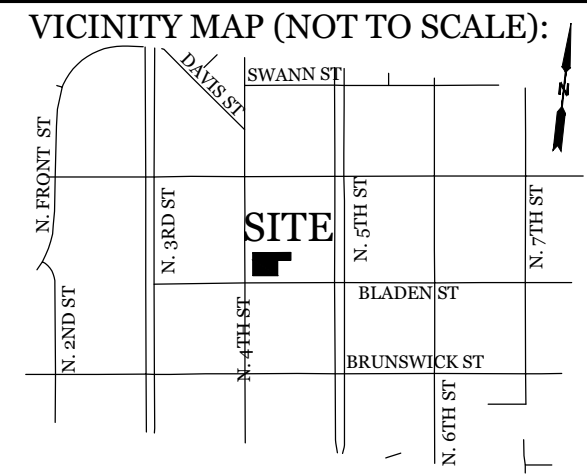
Approved Construction Plan

Name _____ Date _____ Planning _____ Public Utilities _____ Traffic _____ Fire _____

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY... STANDARD DETAIL TREE PROTECTION DURING CONSTRUCTION SHEET 1 of 2

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY... STANDARD DETAIL TREE PROTECTION DURING CONSTRUCTION SHEET 2 of 2

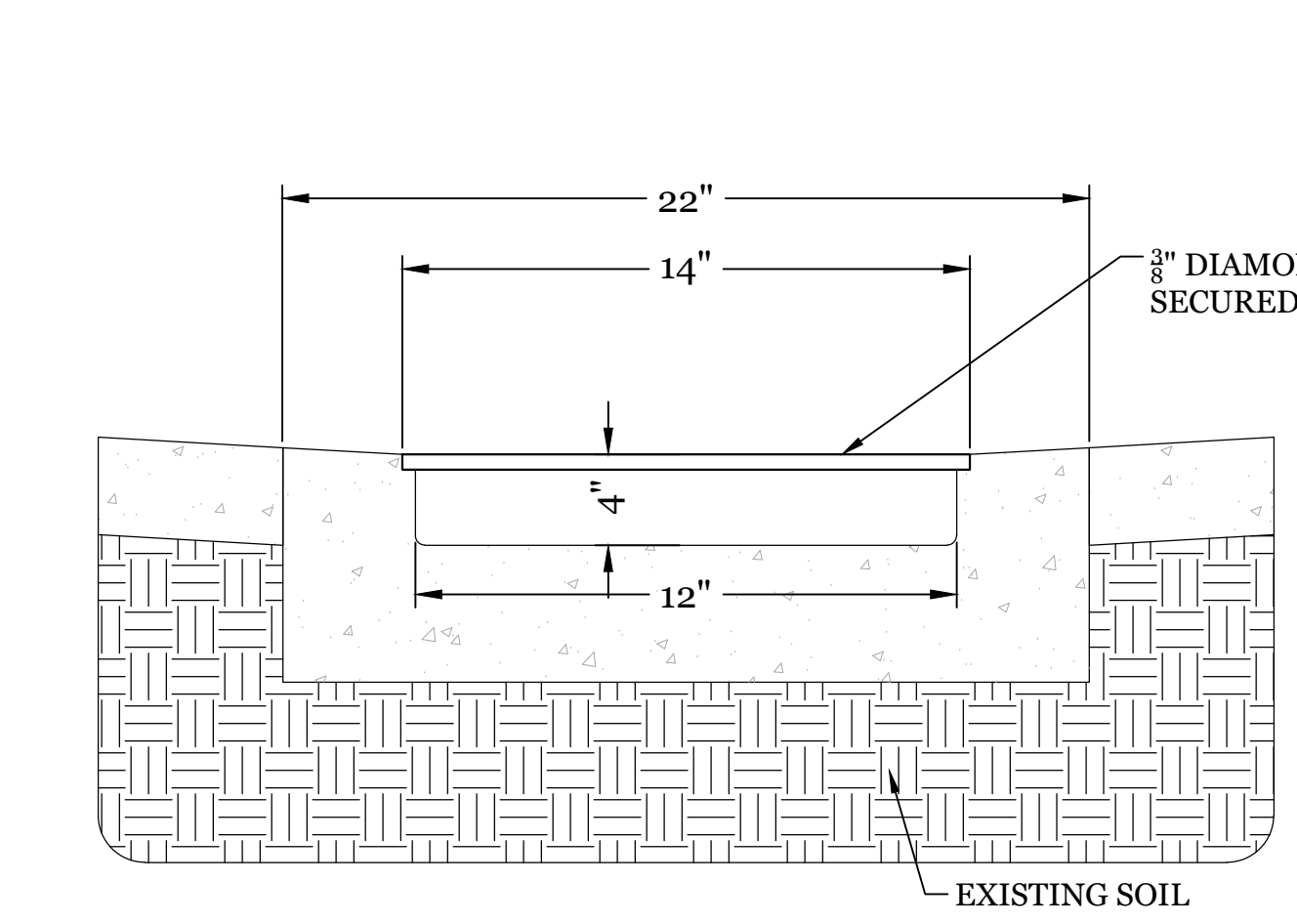
- SITE WORK NOTES: 1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE. 2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.



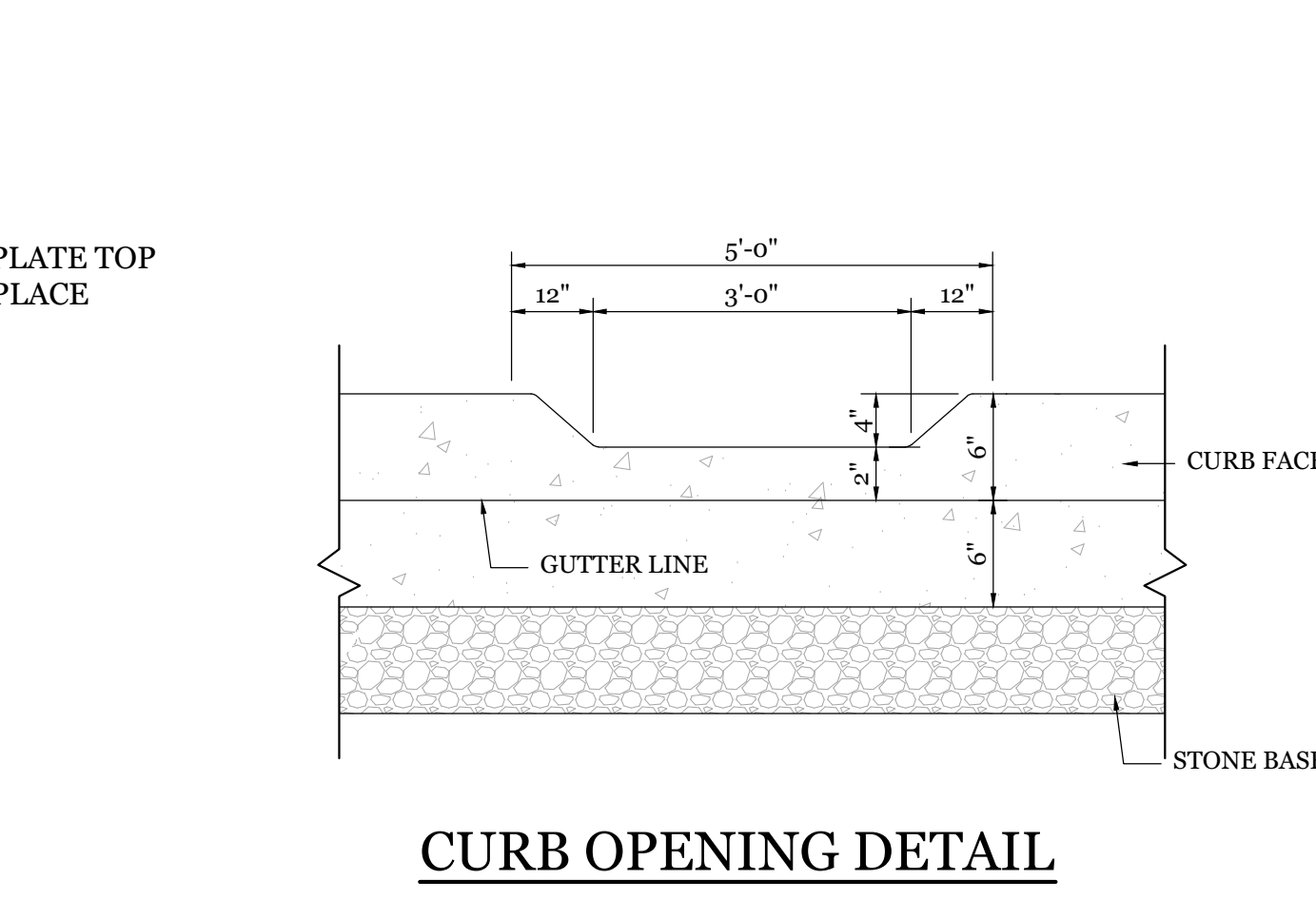
REVISIONS table with columns for description, date, and initials.

INTRACOASTAL ENGINEERING, PLLC 5725 Oleander Dr. Unit E-7 Wilmington, North Carolina 28403

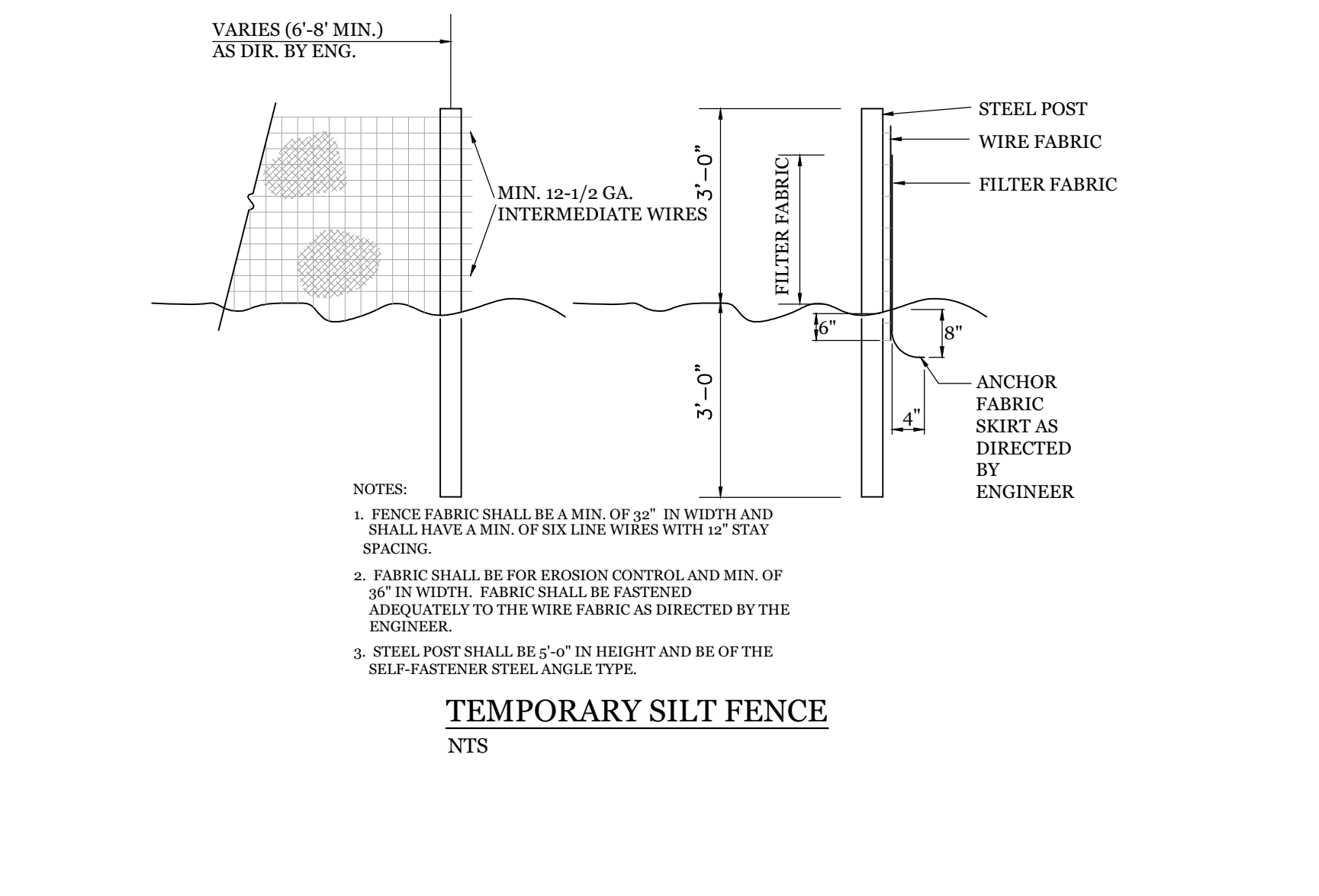
DETAILS FOR THE MODERN 401 BLADEN ST. CITY OF WILMINGTON NEW HANOVER COUNTY, NC



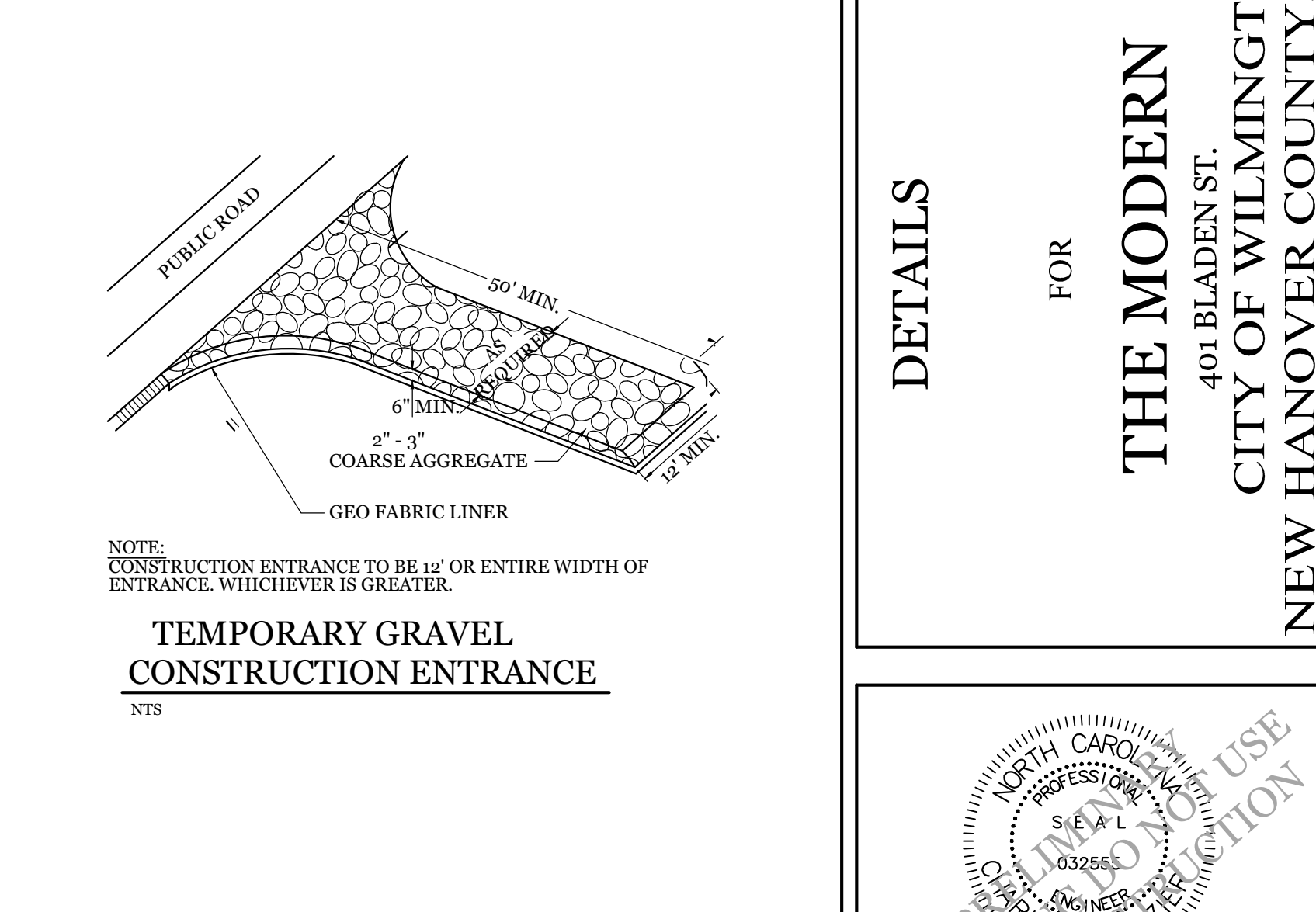
NOTE: 1. A CUSTOM FRAME WITH SPREADERS IS TO BE FABRICATED, ANCHORED INTO THE CONCRETE OUTFALL CHANNEL PROVISIONS TO BOLT COVER IN PLACE. PERVIOUS CONCRETE SECTION



CURB OPENING DETAIL NTS PERMEABLE CONCRETE MONITORING WELL



TEMPORARY SILT FENCE NTS TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

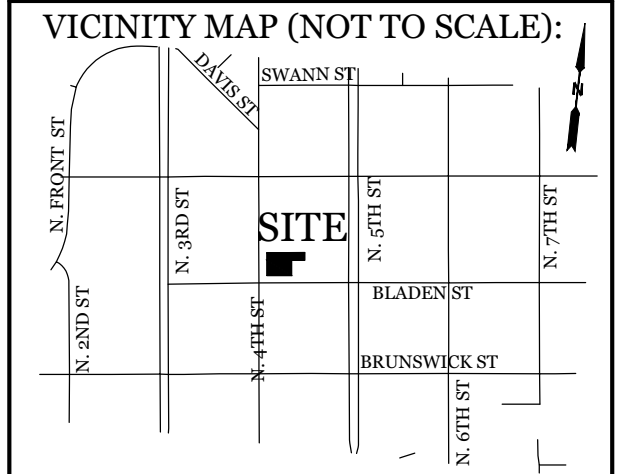


WHEEL STOP DETAIL NTS TURNDOWN SIDEWALK

Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____

Planning _____
Public Utilities _____
Traffic _____
Fire _____



REVISIONS

NO.	DESCRIPTION	DATE

INTRACOASTAL ENGINEERING, PLLC
5725 Oleander Dr. Unit E-7
Wilmington, North Carolina 28403
Phone: 910.859.8983
Email: Charlie@intracoastalengineering.com
License Number: P-0662

BRICK SIDEWALK
DATE: NOVEMBER, 2011
DRAWN BY: JSR
CHECKED BY: BOR, P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 1-18

SIDEWALK
DATE: OCTOBER, 2010
DRAWN BY: PBR/SR
CHECKED BY: DEC
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-10

RESIDENTIAL DRIVEWAY PLAN
DATE: JUNE 1, 2015
DRAWN BY: JSR
CHECKED BY: D.E.C., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-03.1

RESIDENTIAL DRIVEWAY SECTIONS
DATE: JUNE 1, 2015
DRAWN BY: JSR
CHECKED BY: D.E.C., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-03.2

CURBING
DATE: AUGUST, 2011
DRAWN BY: PBR/SR
CHECKED BY: DEC
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-11

PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE
DATE: DECEMBER, 2010
DRAWN BY: PBR/SR
CHECKED BY: DEC
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-07

PERPENDICULAR CURB RAMP ADJACENT TO PLAZA
DATE: DECEMBER, 2010
DRAWN BY: PBR/SR
CHECKED BY: DEC
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD3-08

ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A1 OF 5
DATE: NOVEMBER 8, 2016
DRAWN BY: DALE THOMPSON
CHECKED BY: RANDALL GLAZIER
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-09

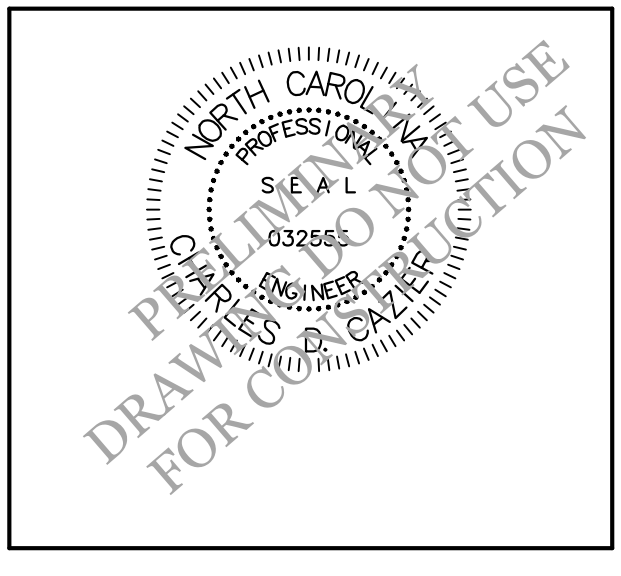
ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A2 OF 5
DATE: NOVEMBER 8, 2016
DRAWN BY: DALE THOMPSON
CHECKED BY: RANDALL GLAZIER
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, N.C. 28402
(910) 341-7807
SD 3-09

PAVEMENT REPAIRS - UTILITY CUTS
DATE: MAY, 2013
DRAWN BY: JSR
CHECKED BY: D.E.C., P.E.
SCALE: NOT TO SCALE

CITY OF WILMINGTON NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
312 OPERATIONS CENTER DRIVE
WILMINGTON, N.C. 28412
(910) 341-7807
SD 1-05

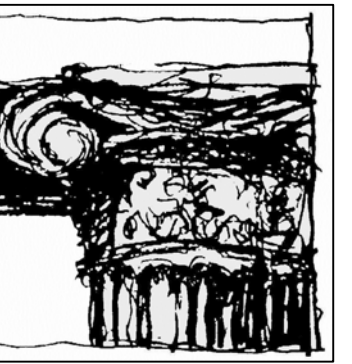
DETAILS FOR THE MODERN CITY OF WILMINGTON
401 BLADEN ST.
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:
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David Lisle
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Wilmington, NC 28401
Ph. 910-763-6053

DRAWN: JAE SHEET SIZE: 24x36
CHECKED: CDC DATE: 9/18/2020
APPROVED: CDC SCALE: NTS
PROJECT NUMBER: 2020-006
DRAWING NUMBER: C-3
4 OF 5

EXTERIOR MATERIAL SCHEDULE					
ARCH. LEGEND	ITEM DESCRIPTION	MANUFACTURER/ VENDOR	ITEM NUMBER/ COLOR	CONTACT PERSON	SHOP DWGS./ SAMPLE REQ'D
TPO	TPO ROOFING	GAF EVERGUARD EXTREME 60 MIL	WHITE		YES
SD-1	METAL PANEL	ATAS INTERNATIONAL	METAFOR SMOOTH - CHARCOAL GREY		YES
SD-2	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 6 1/2) - DOVE GREY		YES
SD-3	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPF 8") - ASCOT WHITE		YES
STOREFRONT	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451/ BLACK		YES
WINDOWS	TYP. WINDOWS	QUAKER	CITY LINE/ BLACK		YES
TL-1	WOOD SIDING	NATURAL	IPE WOOD - SHIPLAP		YES

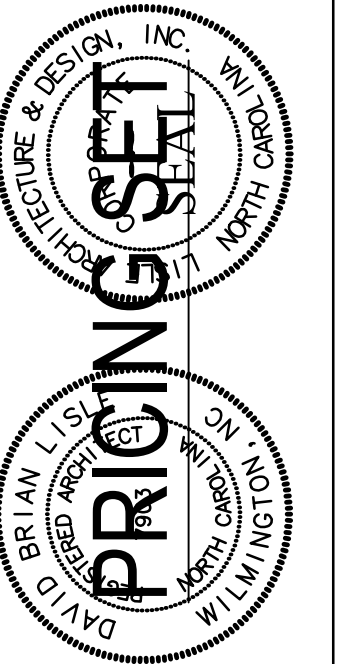


Lisle Architecture & Design, Inc.

614 Market Street
Wilmington, NC 28401
(910) 763.6053 (o)
(910) 763.4517 (f)

323 W. Morgan St. Suite 100
Raleigh, NC 27601
(919) 980.0283 (o)

www.LisleArchitecture.com



THE MODERN
900 N. FOURTH ST.
WILMINGTON, NC 28401

NO.	REV./SUB.	DATE

SHEET TITLE

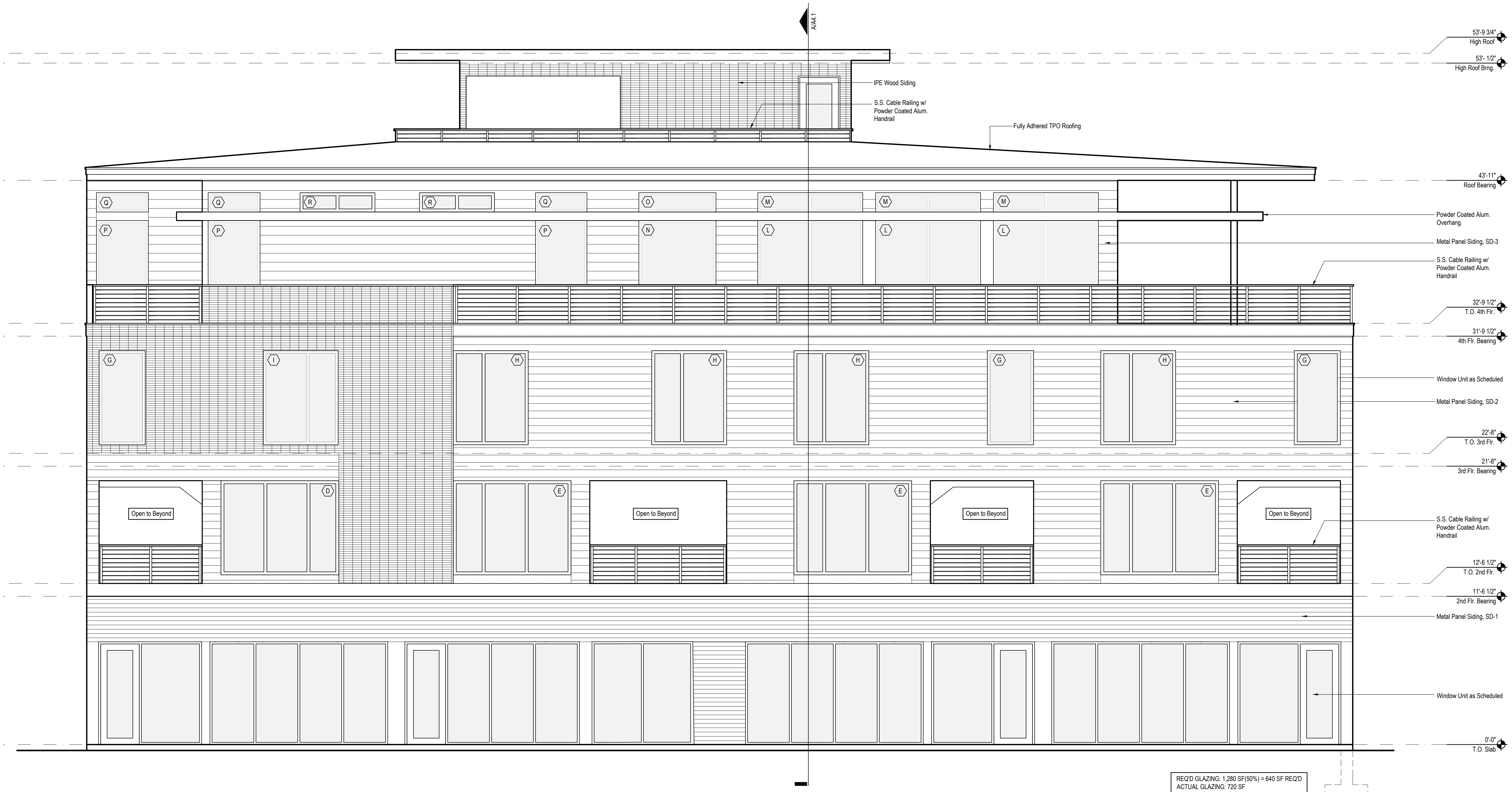
Exterior Elevations

SHEET NUMBER

A2.1

DATE: 05.05.20

PROJECT NO: 20116



West Elevation

A
1/4"

EXTERIOR MATERIAL SCHEDULE					
ARCH. LEGEND	ITEM DESCRIPTION	MANUFACTURER/ VENDOR	ITEM NUMBER/ COLOR	CONTACT PERSON	SHOP DWGS./ SAMPLE REQ'D
TPO	TPO ROOFING	GAF EVERGUARD EXTREME 60 MIL	WHITE		YES
SD-1	METAL PANEL	ATAS INTERNATIONAL	METAFOR SMOOTH - CHARCOAL GREY		YES
SD-2	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 6 1/2) - DOVE GREY		YES
SD-3	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPF 8") - ASCOT WHITE		YES
STOREFRONT	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451/ BLACK		YES
WINDOWS	TYP. WINDOWS	QUAKER	CITY LINE/ BLACK		YES
TL-1	WOOD SIDING	NATURAL	IPE WOOD - SHIPLAP		YES

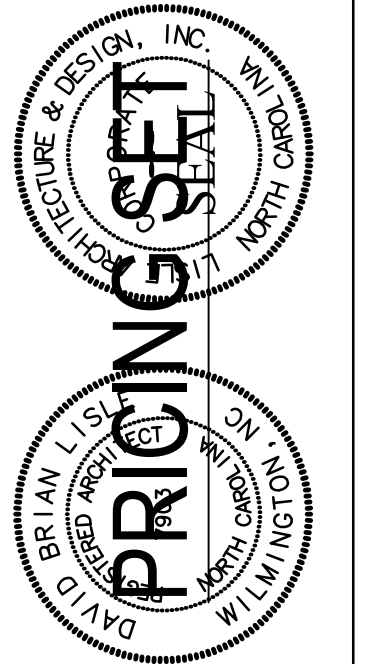


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THE MODERN
900 N. FOURTH ST.
WILMINGTON, NC 28401

NO.	REV./SUB.	DATE

SHEET TITLE

Exterior Elevations

SHEET NUMBER

A22

DATE: 05.05.20

PROJECT NO: 20116

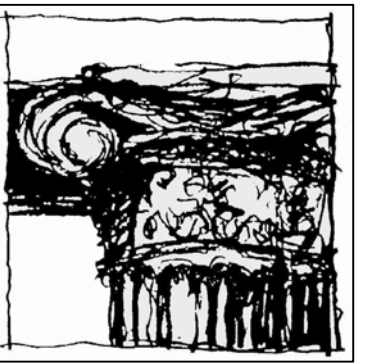
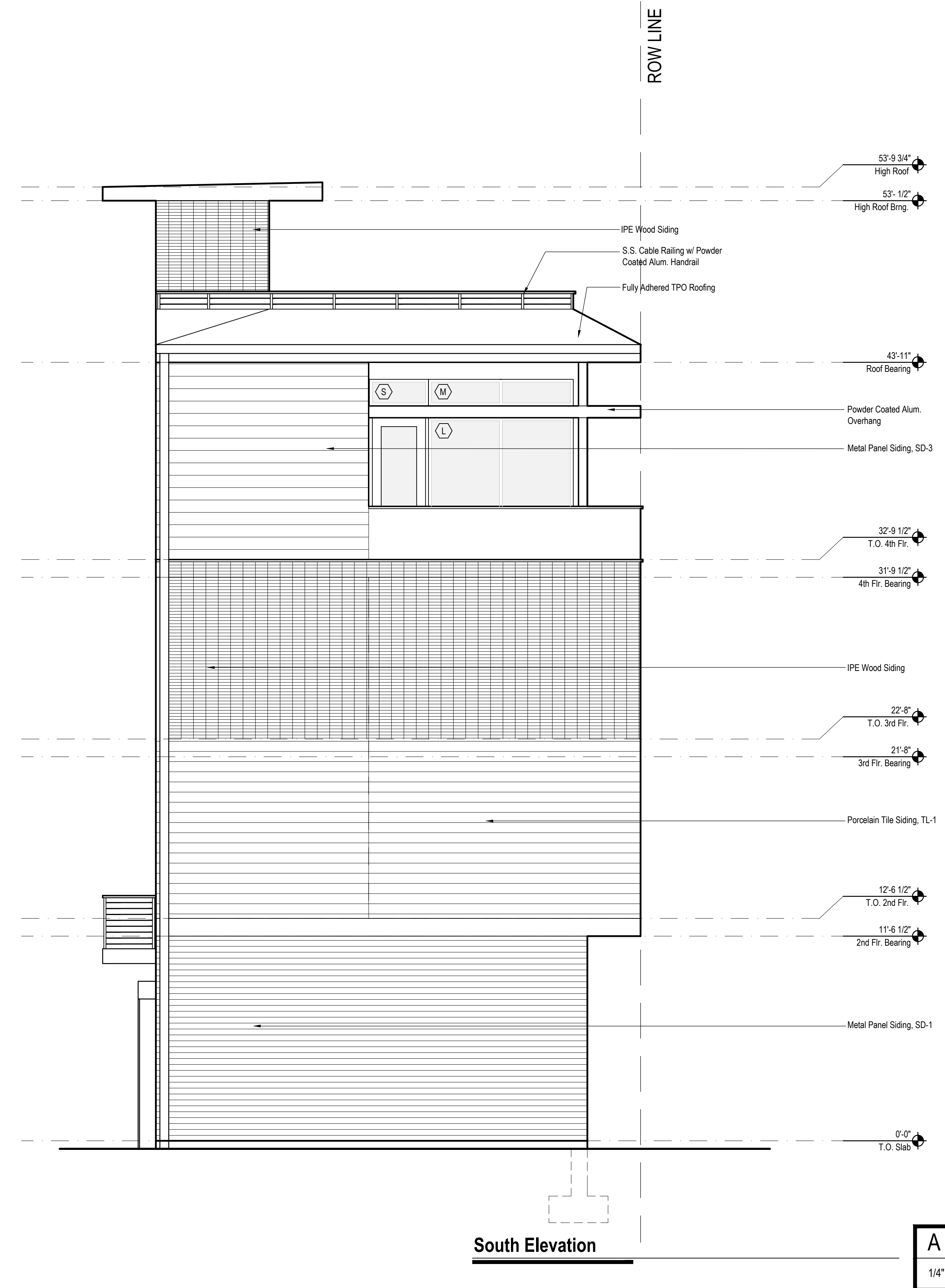
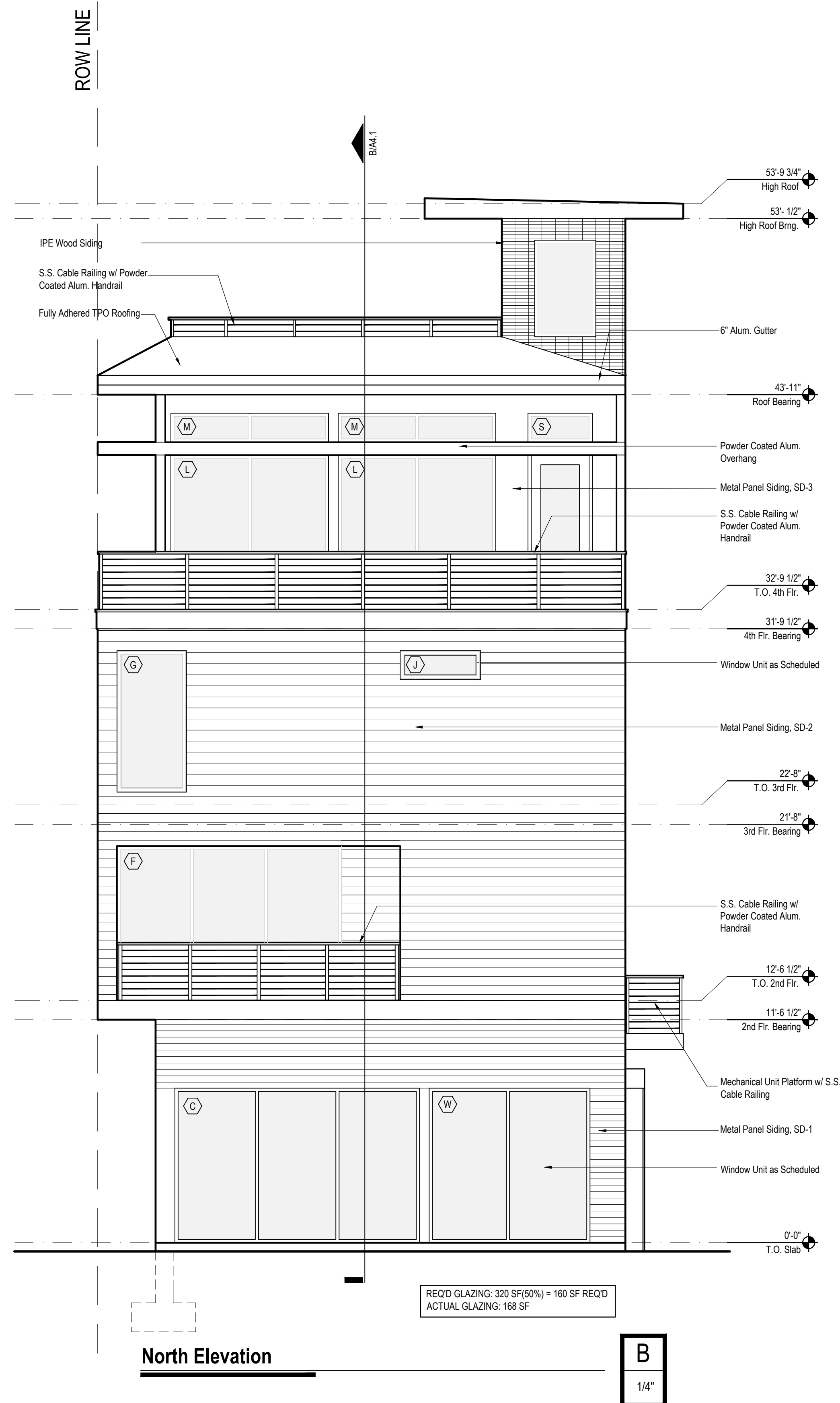
ROW LINE



East Elevation

A
1/4"

EXTERIOR MATERIAL SCHEDULE					
ARCH. LEGEND	ITEM DESCRIPTION	MANUFACTURER/ VENDOR	ITEM NUMBER/ COLOR	CONTACT PERSON	SHOP DWGS./ SAMPLE REQ'D
TPO	TPO ROOFING	GAF EVERGUARD EXTREME 60 MIL	WHITE		YES
SD-1	METAL PANEL	ATAS INTERNATIONAL	METAFOR SMOOTH - CHARCOAL GREY		YES
SD-2	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 6 1/2) - DOVE GREY		YES
SD-3	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 8") - ASCOT WHITE		YES
STOREFRONT	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451/ BLACK		YES
WINDOWS	TYP. WINDOWS	QUAKER	CITY LINE/ BLACK		YES
TL-1	WOOD SIDING	NATURAL	IPE WOOD - SHIPLAP		YES

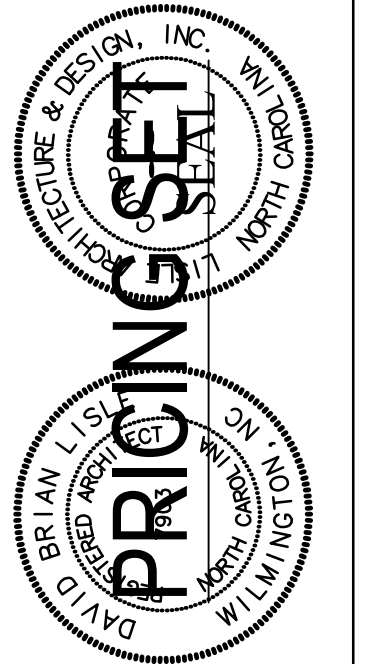


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NO.	REV./SUB.	DATE

SHEET TITLE

Exterior
Elevations

SHEET NUMBER

A2.3

DATE: 05/05/20

PROJECT NO: 20116

The Modern

900 North 4th Street

Located on the corner of North 4th and Bladen St., this building is intended to accentuate and contribute to the modern feel mixed uses of this growing arts district. The ground floor will be commercial spaces with an all glass street façade. The second and third floors will have two story walk-up apartments with private breezeway porches. The fourth floor will be a private residence with large covered porches and a rooftop garden. The materials are a horizontal mix of colors and materials. Large storefront windows and openings dominate the street façade metal panel that layer horizontally up the building. Accents of ceramic tile give warmth and add color.

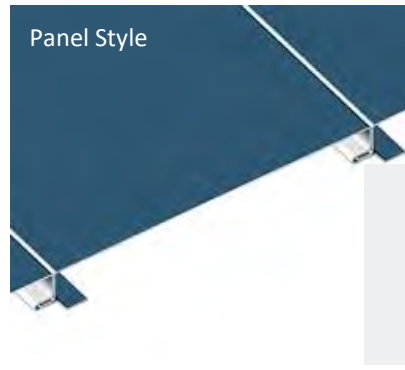
Exterior Materials

900 North 4th Street Wilmington, NC

Top Level

Atlas
International
Opaline Smooth
OPF 8"

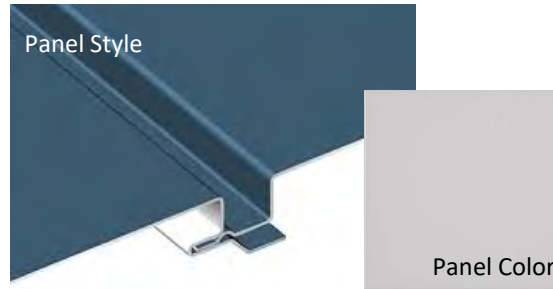
Ascot White



Mid Level

Atlas
International
Opaline Smooth
OPW 6 1/2"

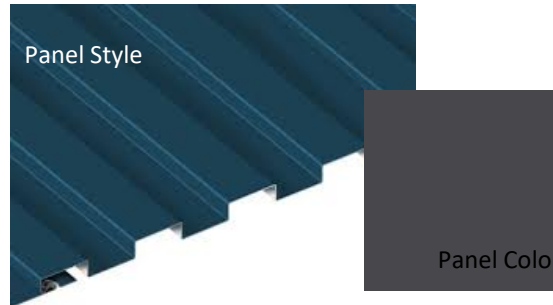
Dove Grey



Base

Atlas
International
Metafor Smooth

Charcoal Grey



Accent

IPE Wood

