SITE DATA PARCEL ID: **CURRENT ZONING:** Public Services

Engineering Division APPROVED DRAINAGE PLAN CAMA LAND USE CLASSIFICATION: _ Permit #__ PROJECT ADDRESS: Signed: CURRENT OWNER: Approved Construction Plan TOTAL ACREAGE IN PROJECT BOUNDARY Public Utilities SOIL TYPE: NOTES: 08/28/2018. 7. NO REGULATED TREES EXIST ON SITE. N/F 900 N FOURTH STREET LLC D.B. 5760 PG. 2874 **ZONING: CBD USE: VACANT** BENCHMARK ELEV. 49.37' N/F N/F N 83°44'49" E 165.00' PRISMICK SULTANA NEW HAN COMMUNITY HEALTH CTR D.B. 6178 PG. 1999 D.B. 2813 PG. 0438 ZONING: R-3 ZONING: CBD **USE: RESIDENCE USE: VACANT** N: 182,218.20' E: 2,318,600.18' NORTH 4TH STREET
66' PUBLIC R/W CHAINLINK FENCE EX. DRIVEWAY TO BE REMOVED. REPLACE CURB & GUTTER AND BRICK PLAZA TO SURROUNDING CONDITIONS. N/F TRUSTHOUSE INVESTMENTS INC D.B. 6081 PG. 1672 N/F **ZONING: CBD** 900 N FOURTH STREET LLC - SAWCUT & RESTORE CANTY ROSA LEE HRS **USE: VACANT** SIDEWALK PER COW SPECS. D.B. 5760 PG. 2874 D.B. 9911 PG. 1704 **ZONING: CBD** ZONING: R-3 SAWCUT GRANITE CURB USE: VACANT **USE: RESIDENCE** AND RESTORE TO EXISTING CONDITIONS N: 182,131.56' -BENCHMARK N: 182,119.79' E: 2,318,718.32' ELEV. 48.86' E: 2,318,610.96' NAVD 88 S 83°44'49'\W 108.00' EX. 5' SIDEWALK EX. ADA RAMPS TO BE RETROFITTED TO MEET — CURRENT C.O.W. & ADA STANDARDS INCLUDING AS 3" MAPLE THE ADDITION OF WARNING DOME MATS EX. 8" WATER MAIN – EX. GRANITE CURBING S 06°15'11" E TOP RIM 49.79 8" CLAY S. INV. 44.72' (TIE LINE) BLADEN STREET 8" CLAY N. INV. 43.99' E 66' PUBLIC R/W EX. STOP SIGN -EX. 8" SS MAIN EX. 8" SS MAIN ______ EX. 3" REDBUD TO BE RELOCATED (SEE LANDSCAPE PLAN FOR EX. CURB INLET -APPROX. LOCATION. SEE NOTE#9) EX. CURB INLET EX. 5' SIDEWALK - SAWCUT & RESTORE PER COW SPECS. (SEE COW DETAIL SD 1-05) N/FWRE HOLDINGS LLC N/FD.B. 5708 PG. 2946 TRUSTHOUSE INVESTMENTS INC **ZONING: CBD** D.B. 6064 PG. 2652 **USE: VACANT** ZONING: CBD **USE: VACANT**

R04809-038-029-000

CBD

URBAN

401 BLADEN ST. WILMINGTON, NC 28401

614 MARKET ST. WILMINGTON, NC 28401

12,573 S.F. (±0.29 ac.)

EXISTING ONSITE IMPERVIOUS AREAS: SITE IS VACANT

Ku (Kureb-Urban land complex) (Per the USDA websoil survey map)

DAVID LISLE

- 1. EXISTING SURVEY DATA PROVIDED BY VERNON DEREK DANFORD, N.C. PLS No. L-4528 2. THIS LOT IS LOCATED IN ZONE "X" PER FRIS ON FIRM MAP NUMBER 3720311800L DATED:
- 3. NO WETLANDS EXIST ON SITE.
- 4. THIS PROPERTY IS NOT AFFECTED BY AN AEC.
- 5. NO CONSERVATION RESOURCES EXIST ON SITE.
- 6. THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
- 8. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED TO RESTRICT SEDIMENT LEAVING
- 9. PLEASE COORDINATE WITH CITY OF WILMINGTON URBAN FORESTRY DEPARTMENT

EXACT LOCATION FOR RELOCATED 3" REDBUD STREET TREE.

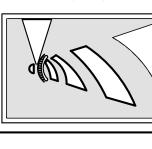
RECEIVED

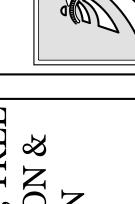
By waltonj at 3:08 pm, Sep 28, 2020

VICINITY MAP (NOT TO SCALE):

REVISIONS







CLIENT INFORMATION: Lisle Architecture & Design, Inc. David Lisle 614 Market St. Wilmington, NC 28401 Ph. 910-763-6053

— ADJOINERS

EX. FIRE HYDRANT

PROPOSED DEMO. AREAS

TREE TO BE REMOVED

_____ EX. EOP
______ SF _____ SILT FENCE

Scale: 1"=20'

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	9/18/2020
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMB	ER:	2020-006	

DRAWING NUMBER: C-o Public Services • Engineering Division APPROVED DRAINAGE PLAN __ Permit #__

Approved Construction Plan	
<u>Name</u> <u>Da</u>	<u>te</u>
Planning	
Public Utilities	
Traffic	
Fire	

N/F 900 N FOURTH STREET LLC D.B. 5760 PG. 2874 ZONING: CBD **USE: VACANT** FENCED TRASH CART AREA – FENCED TRASH CART AREA (SEE DEVELOPMENT NOTE #3) (SEE DEVELOPMENT NOTE #3) 6' CONC. PAD – H.C. PARKING SIGN - 4" PVC ROOF DRAIN (TYP X 4)(SEE DETAIL) TIE TO PERVIOUS N/F N/F CONCRETE STONE BASE PRISMICK SULTANA NEW HAN COMMUNITY HEALTH CTR D.B. 6178 PG. 1999 D.B. 2813 PG. 0438 ZONING: R-3 **ZONING: CBD USE: RESIDENCE USE: VACANT** FUTURE 1 STORY BUILDING 800 SF STORAGE FOR ROOF DRAIN OUTFALL CHANNEL — (SEE DETAIL) PERVIOUS CONCRETE PARKING CHAINLINK FENCE 3' CURB OPENINING (SEE DETAIL) N/F WHEEL STOP TRUSTHOUSE INVESTMENTS INC D.B. 6081 PG. 1672 N/F **ZONING: CBD** CANTY ROSA LEE HRS 900 N FOURTH STREET LLC **USE: VACANT** 46' x 46' SIGHT TRIANGLE -6' SIDEWALK D.B. 5760 PG. 2874 D.B. 9911 PG. 1704 **ZONING: CBD** ZONING: R-3 FDC'S TO BE LOCATED NEAR **USE: RESIDENCE USE: VACANT** 49.32 **FUTURE 4 STORY BUILDING** CORNERS OF BUILDINGS - SEE DEVELOPMENT (49.5' X 24.33') (1) 6" FIRE SERVICE -1,100 SF 1st FLOOR COMMERCIAL 3,300 SF GROSS RESIDENTIAL ABOVE (1) FEBCO MODEL# LF860 MASTER SERIES 20' x 70' SIGHT TRIANGLE (1,100 SF /FLOOR) BACKFLOW PREVENTOR LOCATED INSIDE BUILDING (2)-2 BDR UNITS & (1) 1 BDR UNIT , , FFE:49.2, , , EX. ADA RAMPS TO BE RETROFITTED TO MEET -CURRENT C.O.W. & ADA STANDARDS INCLUDING THE ADDITION OF WARNING DOME MATS EX. 8" WATER MAIN -(1) 6" FIRE LINE \$SMH TIE TO EX. 8" WATER -- EX. GRANITE CURBING (1) 2" WATER SERVICE └─4" PVC ROOF DRAIN MAIN W/ 8" X 6" T.S.&V. MATCH EX. ASPHALT TOP RIM 49.79 8" CLAY S. INV. 44.72' -(1) 3" WATER SERVICE BLADEN STREET 8" CLAY N. INV. 43.99 (1) 2" METER W/CFPUA APPROVED BACKFLOW (1) TIE TO EX. SSCO -X PREVENTOR LOCATED INSIDE BUILDING. 66' PUBLIC R/W EX. STOP SIGN -EX. 8" SS MAIN EX. 8" SS MAIN -(1) TIE TO EX. 8" WATER MAIN -----_W/ 8" X 3" T.S.&V. EX. CURB INLET EX. CURB INLET EX. 5' SIDEWALK ackslash SAWCUT & RESTORE PER COW SPECS. (SEE COW DETAIL SD 1-05) N/F WRE HOLDINGS LLC N/F D.B. 5708 PG. 2946 TRUSTHOUSE INVESTMENTS INC ZONING: CBD D.B. 6064 PG. 2652 **USE: VACANT** ZONING: CBD **USE: VACANT**

1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.

. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.

TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.

8. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.

10. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50 D.I.P. WITH PROTECTO 401 CERAMIC EPOXY LINING.

CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM

11. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.

18. SHOULD ADDITIONAL SERVICES BE LOCATED DURING CONSTRUCTION, THEY MUST EITHER BE UTILIZED OR ABANDONED.

4. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND

6. IF CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ)

9. SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT RIGHT-OF-WAY LINE. SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR OR MUST

15. THE BELLSOUTH CONTACT IS STEVE DAYVAULT, BUILDING INDUSTRY CONSULTANT, AT 910-392-8712. CONTACT HIM PRIOR TO STARTING THE PROJECT IN ORDER TO

16. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: * FINAL GRADE WILL NEED TO BE ESTABLISHED. * POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3'

14. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OR EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE BE DAMAGED DURING

19. NO SITE LIGHTING IS PROPOSED. ANY FUTURE EXTERIOR SITE LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE DIRECTLY ONTO ADJACENT PARCELS.

7. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED

2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.

3. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFPUA TECHNICAL SPECIFICATIONS & STANDARDS.

N.C.D.E.N.R. HAS ISSUED THEIR "FINAL APPROVAL.". CALL 332-6558 FOR INFORMATION.

BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.

DEEP. * BELLSOUTH & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.

ORIGINATE IN MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.

FACILITATE GOOD COMMUNICATION AND MAXIMUM FLEXIBILITY.

12. NO FLEXIBLE COUPLINGS SHALL BE USED.

13. ALL STAINLESS STEEL FASTENERS SHALL BE 316.

17. SOLID WASTE DISPOSAL IS COW CURBSIDE PICKUP.

DEVELOPMENT NOTES: 1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.

2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.

3. FENCED TRASH CART AREA(S) SHALL BE COMPLETELY ENCLOSED AND SCREENED WITH A SHADOWBOX STYLE FENCE. THE ENCLOSURE SHALL BE AT LEAST ONE (1) FOOT TALLER THAN THE HIGHEST POINT OF THE TRASH RECEPTACLE. CHAIN LINK AND EXPOSED CONCRETE BLOCKS ARE PROHIBITED.

4. ALL ROOF RUNOFF TO BE DIRECTED TO PERVIOUS CONCRETE PARKING AREA.

5. PROPOSED VEGETATION TO BE REMOVED AT TIME OF FUTURE BUILDING AND SIDEWALK CONSTRUCTION.

FIRE & SAFETY NOTES:

1. CONSTRUCTION TYPE: V-B (COMMERCIAL) 2. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3 -FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.

3. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. 4. HYDRANTS SHALL BE OF SUFFICIENT NUMBERS TO ACCOMMODATE BASE FIRE FLOW REQUIREMENTS OF STRUCTURE.

5. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING

6. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)

FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT. 8. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696

9. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED. 10. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT

DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

11. STANDPIPE(S) WILL BE REQUIRED BECAUSE THE FLOOR ELEVATION IS GREATER THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS

12. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE SITE.

SD 11-3 COFW TECH STDS] 2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 &

3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.

4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.

ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED. 6. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION

AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT. [SD 15 -14 COFW TECH STDS] 7. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.

8. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10'.

SITE DATA

PARCEL ID:

401 BLADEN ST. PROJECT ADDRESS:

CURRENT OWNER: DAVID LISLE

NUMBER OF RESIDENTIAL UNITS: 8 TOTAL (6 @ 2 BDR & 2 @ 1 BDR) TOTAL BUILDING SIZE IN GFA: COMMERCIAL: 3,400 S.F *See plan for individual building breakdowns* RESIDENTIAL: 10,800 S.F.

BUILDING HEIGHT: ±'50 / 4 STORY (60' MAX. ALLOWED)

BUILDING SETBACKS: PROPOSED= VARIES/SEE PLAN FRONT: REQUIRED= o' SIDE: REQUIRED= o' PROPOSED= VARIES/4' MAX

CALCULATION FOR BUILDING COVERAGE

PROPOSED ON-SITE IMPERVIOUS AREAS: BUILDING ROOF 4,715 S.F. CONCRETE SIDEWALK, C&G, ETC. 1,645 S.F.

PROPOSED ON-SITE PERVIOUS AREAS: PERVIOUS CONCRETE PARKING: 3,834 S.F.

PROPOSED OFF-SITE IMPERVIOUS AREAS: CONC. SIDEWALK / DRIVEWAY APRON 430 S.F.* *INCLUDING REPLACEMENT SIDEWALK

REQUIRED:

BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)

PROVIDED: o SPACES

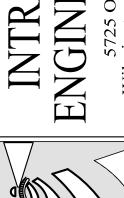
8 RESIDENTIAL UNITS (ITE CODE 231)

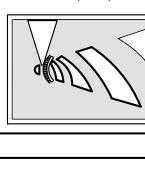
PM PEAK: 7 AM PEAK: 6

EXISTING SEWER AND WATER DEMAND:= o GPD PROPOSED SEWER AND WATER DEMAND: 2,295 GPD

R04809-038-029-000 CURRENT ZONING CBD CAMA LAND USE CLASSIFICATION: URBAN WILMINGTON, NC 28401 614 MARKET ST. WILMINGTON, NC 28401 12,573 S.F. (±0.29 ac.) TOTAL ACREAGE IN PROJECT BOUNDARY TOTAL DISTURBED AREA: 0.33 ACRES NUMBER OF BUILDINGS: RES. STORAGE: 800 S.F. TOTAL: 15,000 S.F. GFA REAR: REQUIRED= o' PROPOSED= VARIES/20' MIN PROPOSED COVERAGE 4,715 S.F. ÷ 12,537 S.F. = 37.6% 6,360 S.F (50.1%) OFF STREET PARKING REQUIRED: NO MINIMUM REQUIRED MAX: 2.5 Spaces/du + 1/200 sq.ft. Commercial= 37 SPACES 8 SPACES (1 H.C. SPACE) PROPOSED: REQUIRED: o SPACES ESTIMATED TRIP GENERATION (Per Trip Generation Manual, 10th Edition: AM PEAK: 2 PM PEAK: 3 DAILY: 28 3,400 SF OFFICE (ITE CODE 710) DAILY: 33 AM PEAK: 4 PM PEAK: 4 PROJECT TOTAL DAILY: 61

VICINITY MAP (NOT TO SCALE): REVISIONS

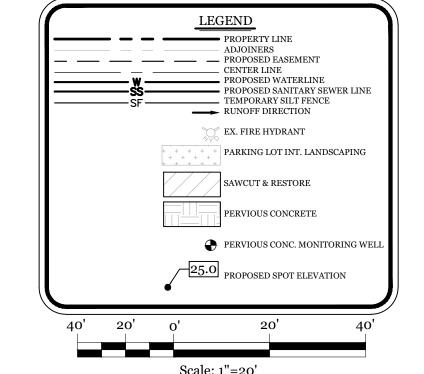


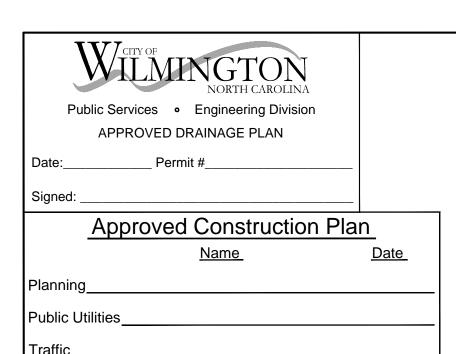


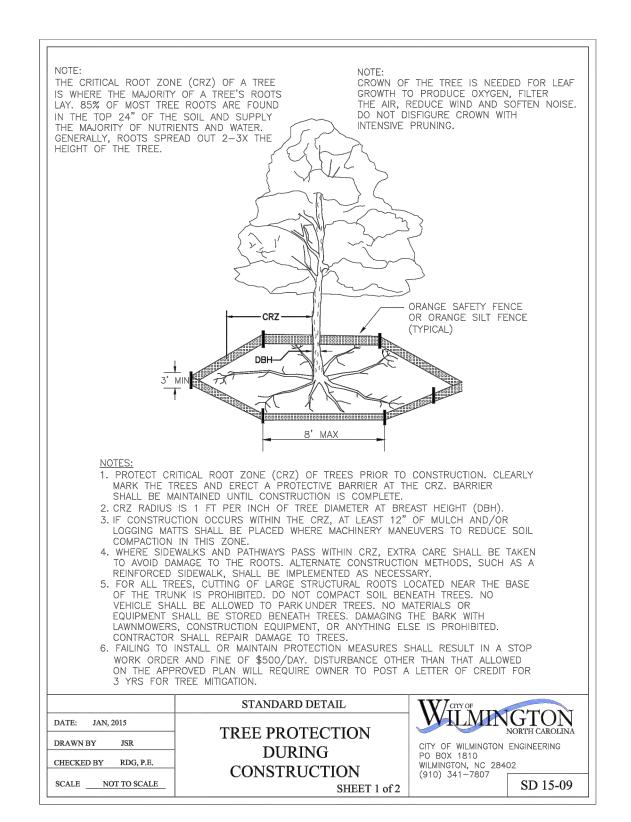
CLIENT INFORMATION: Lisle Architecture & Design, Inc. David Lisle 614 Market St. Wilmington, NC 28401 Ph. 910-763-6053

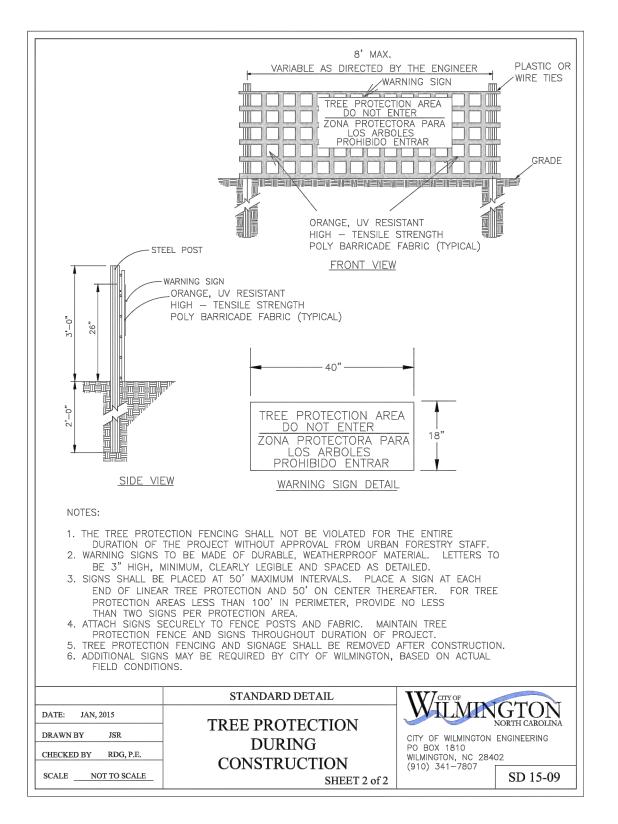
DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	9/18/2020
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMB	ER:	2020-006	

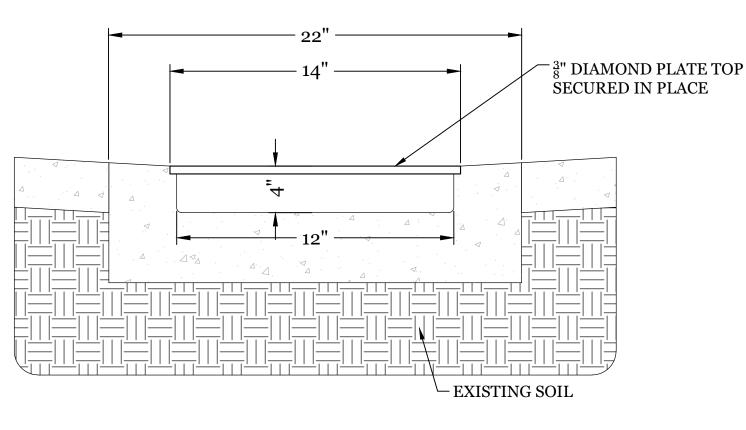
DRAWING NUMBER: C-1

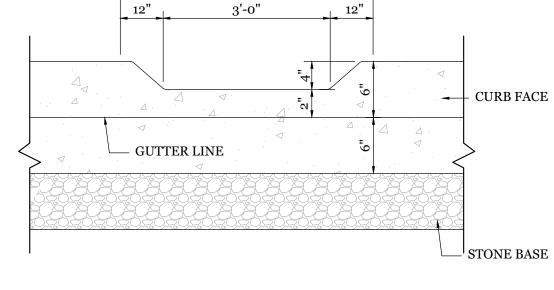








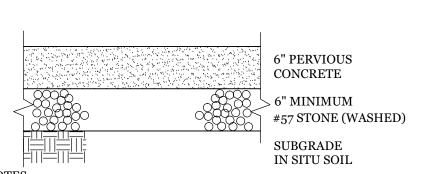




CURB OPENING DETAIL

1. A CUSTOM FRAME WITH SPREADERS IS TO BE FABRICATED, ANCHORED INTO THE CONCRETE OUTFALL CHANNE WITH PROVISIONS TO BOLT COVER IN PLACE.

ROOF DRAIN OUTFALL CHANNEL SECTION DETAIL



1. ALL ROOF DRAINS TO BE PIPED DIRECTLY INTO PERVIOUS CONCRETE STONE BASE.

2. SUBGRADE MUST BE EITHER SCARIFIED, RIPPED, OR TRENCHED TO MAINTAIN THE PRE-CONSTRUCTION SUBGRADE INFILTRATION

PERVIOUS CONCRETE SECTION

PERMEABLE CONCRETE MONITORING WELL

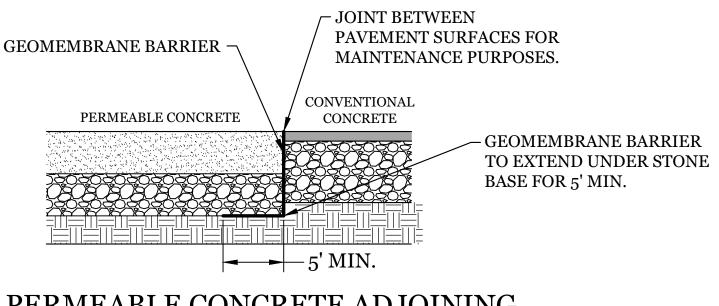
Cap flush with

perforated pipe

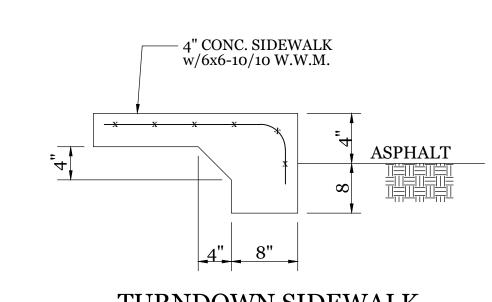
Insert 4 to 6 in.

into soil subgrade

pavement







2. CONTRACTOR SHALL INSTALL WHEEL STOP 2.5' FROM SIDEWALK WHEEL STOP DETAIL

PLAN VIEW

6'-11"

FRONT VIEW

1. CONTRACTOR SHALL INSTALL PER CITY OF WILMINGTON TECHNICAL STANDARD PER SD 15-13

END VIEW

WIDTH x LENGTH x HEIGHT 9" x 7'-0" x 4"

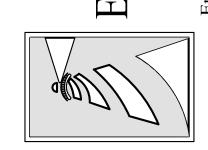
- 7/8"Ø HOLES—

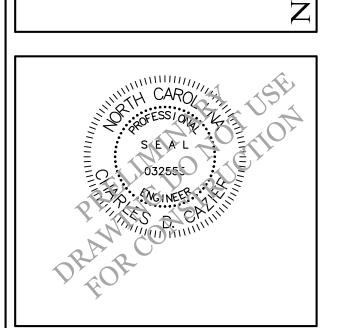
GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC BLADENS

VICINITY MAP (NOT TO SCALE):

CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER REVISIONS 10. NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING 11. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE 13. CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE

PL X H

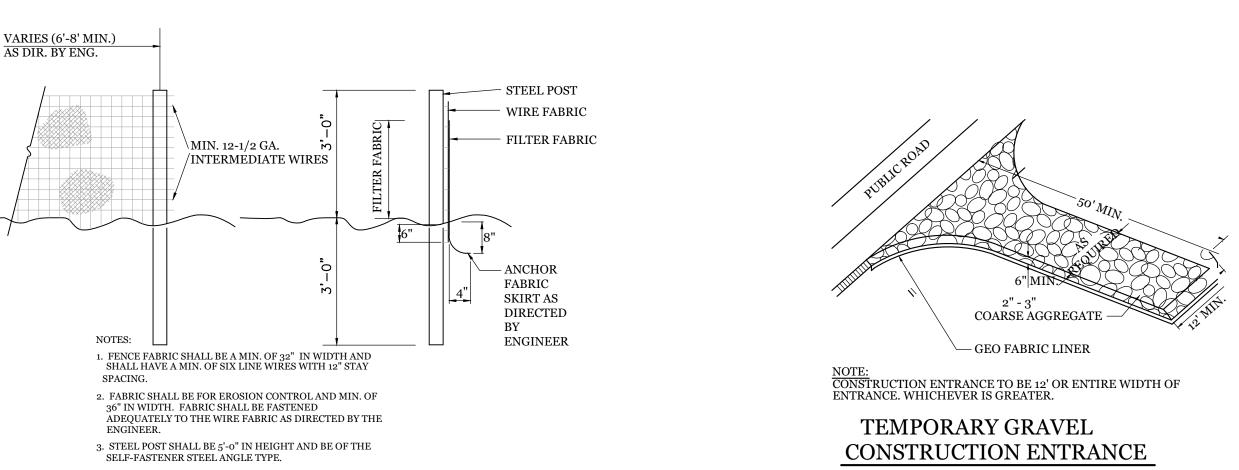




CLIENT INFORMATION: Lisle Architecture & Design, Inc. David Lisle 614 Market St. Wilmington, NC 28401 Ph. 910-763-6053

RAWN:	JAE	SHEET SIZE:	24x36
HECKED:	CDC	DATE:	9/18/2020
PPROVED:	CDC	SCALE:	NTS
ROJECT NUMBER:		2020-006	

DRAWING NUMBER: C-2



1. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.

8. THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED

16. THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.

20. CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.

22. ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY

MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.

FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.

CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.

INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.

DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.

BEFORE PROCEEDING WITH CONSTRUCTION.

ENGINEER PRIOR TO INSTALLATION.

AT CONTRACTORS COST AS NECESSARY.

TEMPORARY SILT FENCE

FOR BY THE CONTRACTOR.

14. EXISTING SURVEY DATA PROVIDED BY ESP ASSOCIATES, INC.

SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.

2. CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.

MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.

9. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY

DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.

7. THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

15. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE

17. ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CFPUA CODES, METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE

19. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS

18. ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY, GEOTECHNICAL ENGINEER TO BE CONSULTED

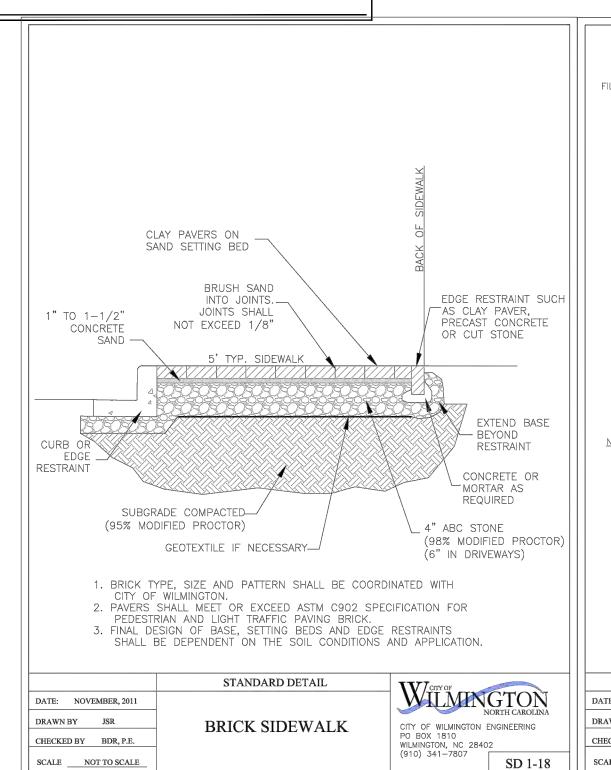
21. FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID

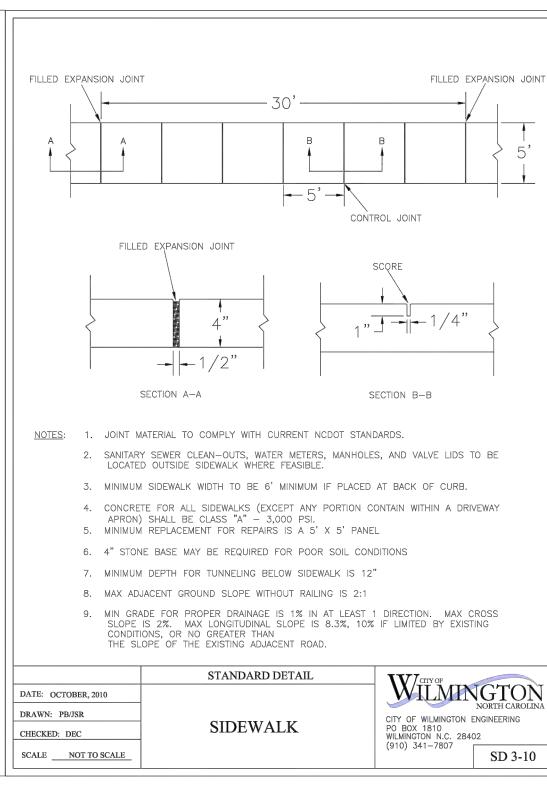
TURNDOWN SIDEWALK

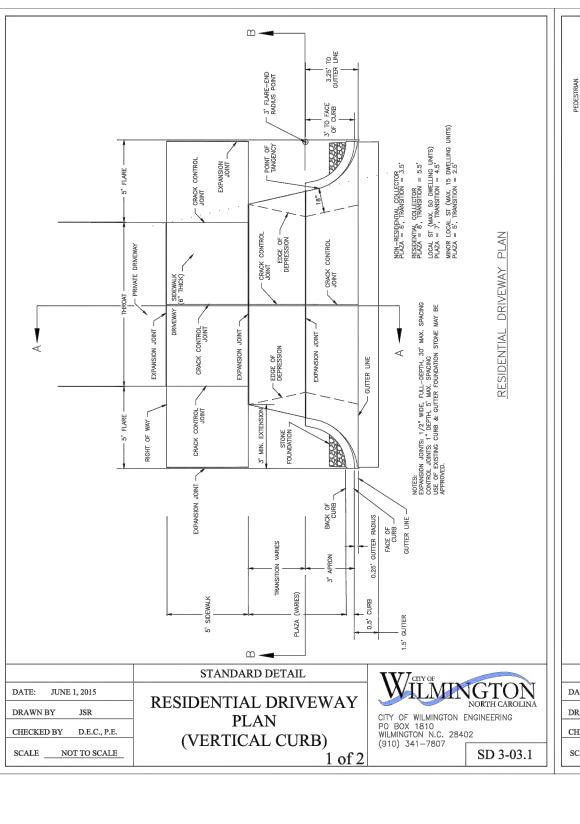
SITE WORK NOTES:

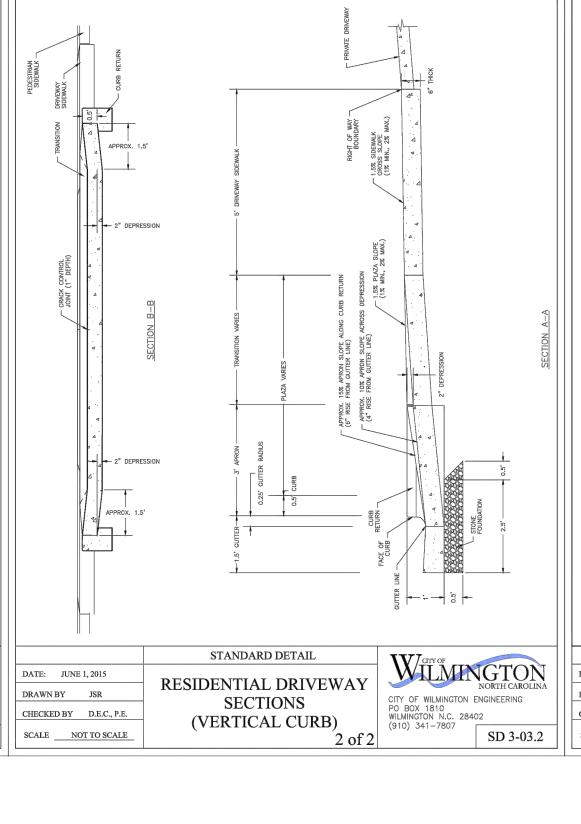
CONSTRUCTION.

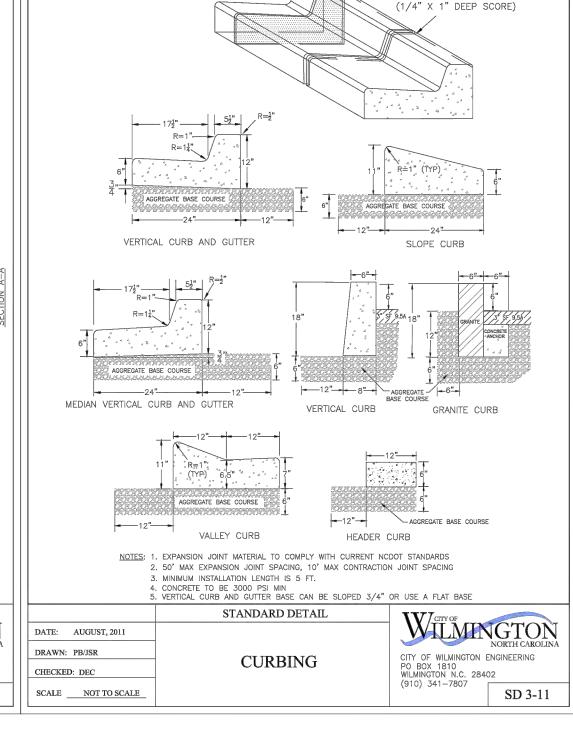




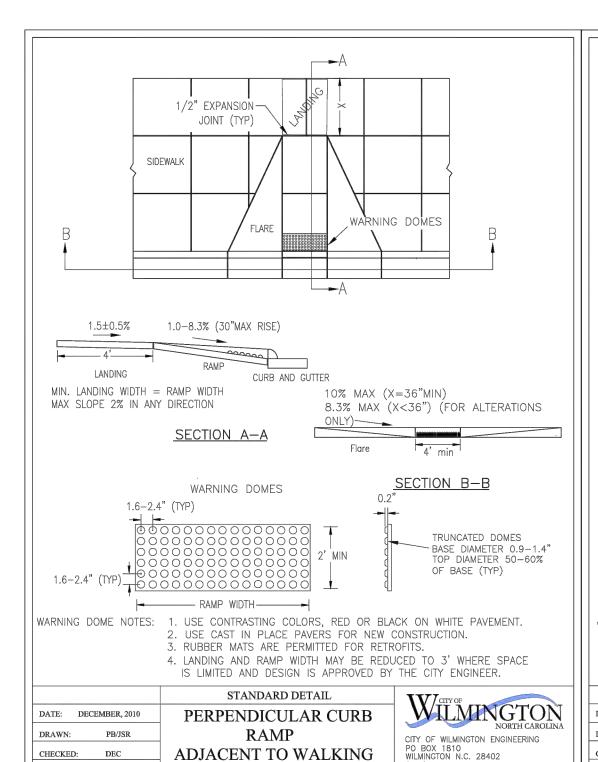








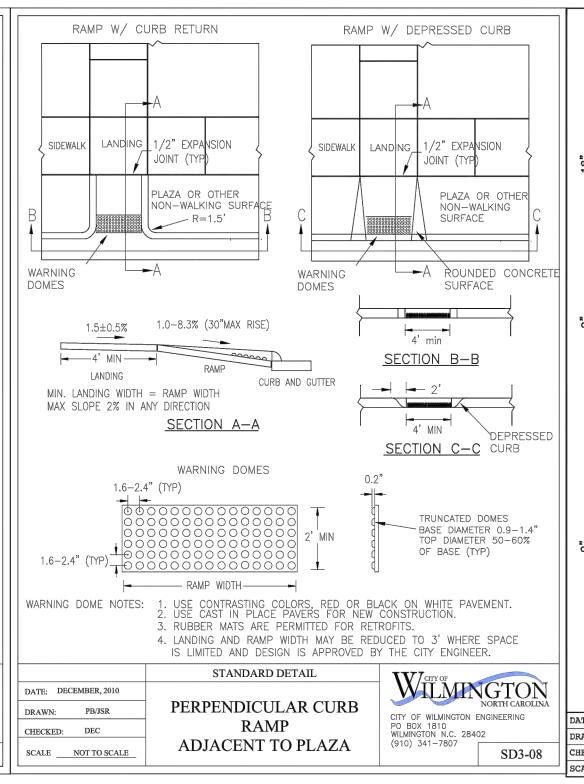
OBLIQUE VIEW
VERTICAL CURB AND GUTTER

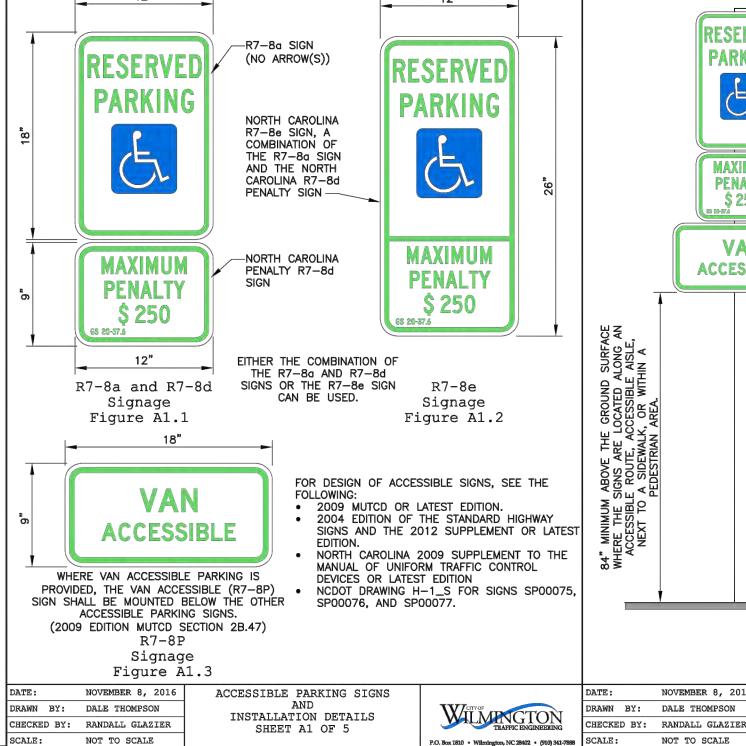


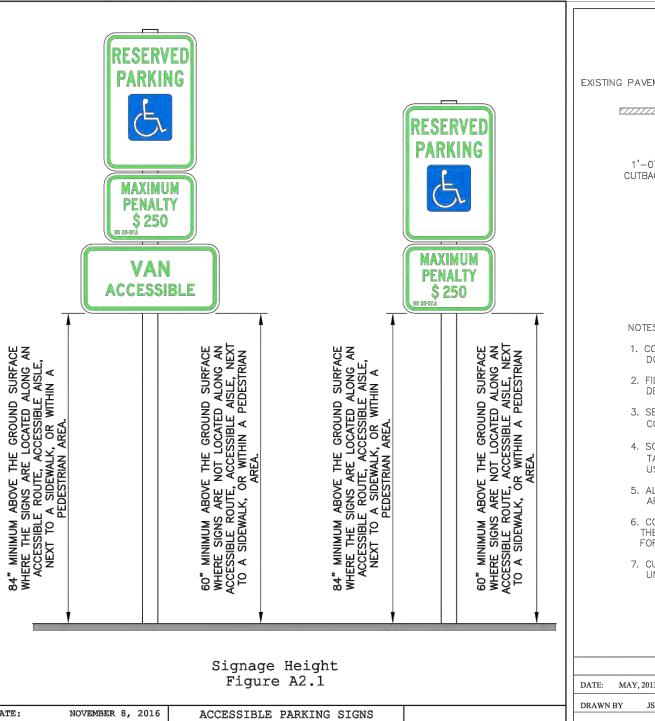
SURFACE

SD 3-07

SCALE NOT TO SCALE



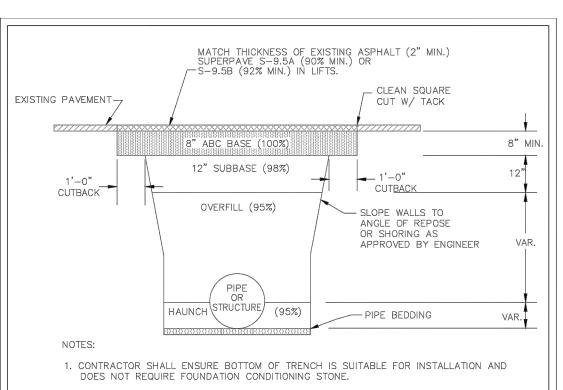




INSTALLATION DETAILS

SHEET A2 OF 5

DALE THOMPSON



- 2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE. 3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE

COMPACTION, (I.E. #57, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).

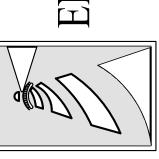
- 4. SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E JUMPING JACK), HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
- 5. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF
- 6. COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS; AND ASTM D-698-CFOR ABC STONE; AND BY NUCLEAR GAUGE OR CORE SAMPLE FOR ASPHALT.
- 7. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF

	STANDARD DETAIL	TV/Crry OF
DATE: MAY, 2013	PAVEMENT REPAIRS-	WILMINGTON
DRAWN BY JSR		NORTH CAROLINA
CHECKED BY D.E.C., P.E.		ENGINEERING OFFICE 212 OPERATIONS CENTER DRIVE
SCALE NOT TO SCALE		WILMINGTON N.C. 28412 (910) 341–7807 SD 1-05

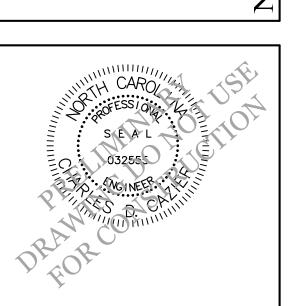
VICINI	Salta St	SWANN ST			
ST N. FRONT	N. 3RD ST	SITE	BLADEN TS HTS	ST	N. 7TH ST
N. 2ND ST	S HE.	1	BRUNSWI	CK ST	
	11			N. 63	_

REVISIONS

PL



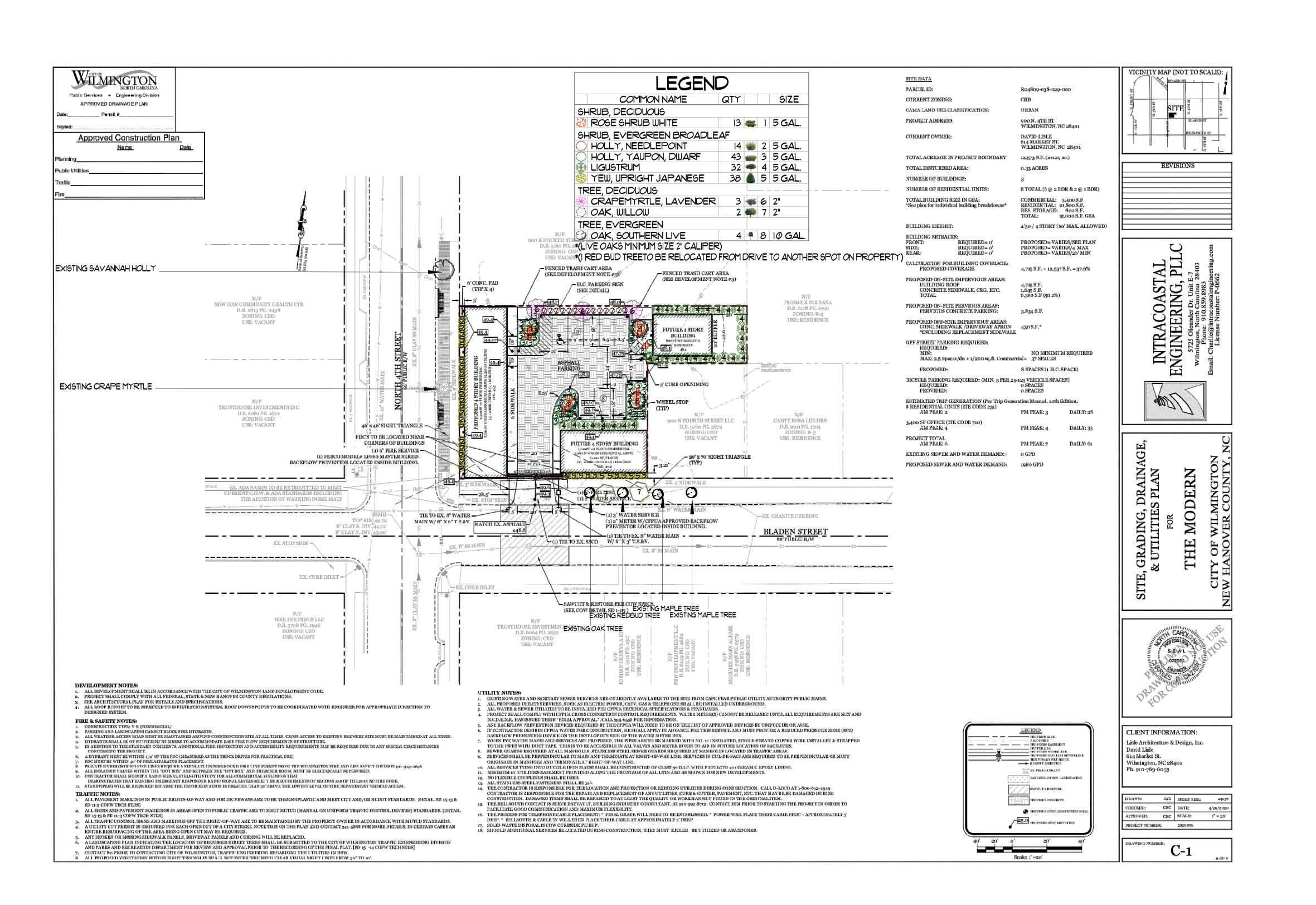
MODER ZZ



CLIENT INFORMATION: Lisle Architecture & Design, Inc. David Lisle 614 Market St. Wilmington, NC 28401 Ph. 910-763-6053

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	9/18/2020
APPROVED:	CDC	SCALE:	NTS
PROJECT NUME	BER:	2020-006	

DRAWING NUMBER:



758 Plan: Landscape

Modern

andscaping

country

Low

Scott Hinson

þ

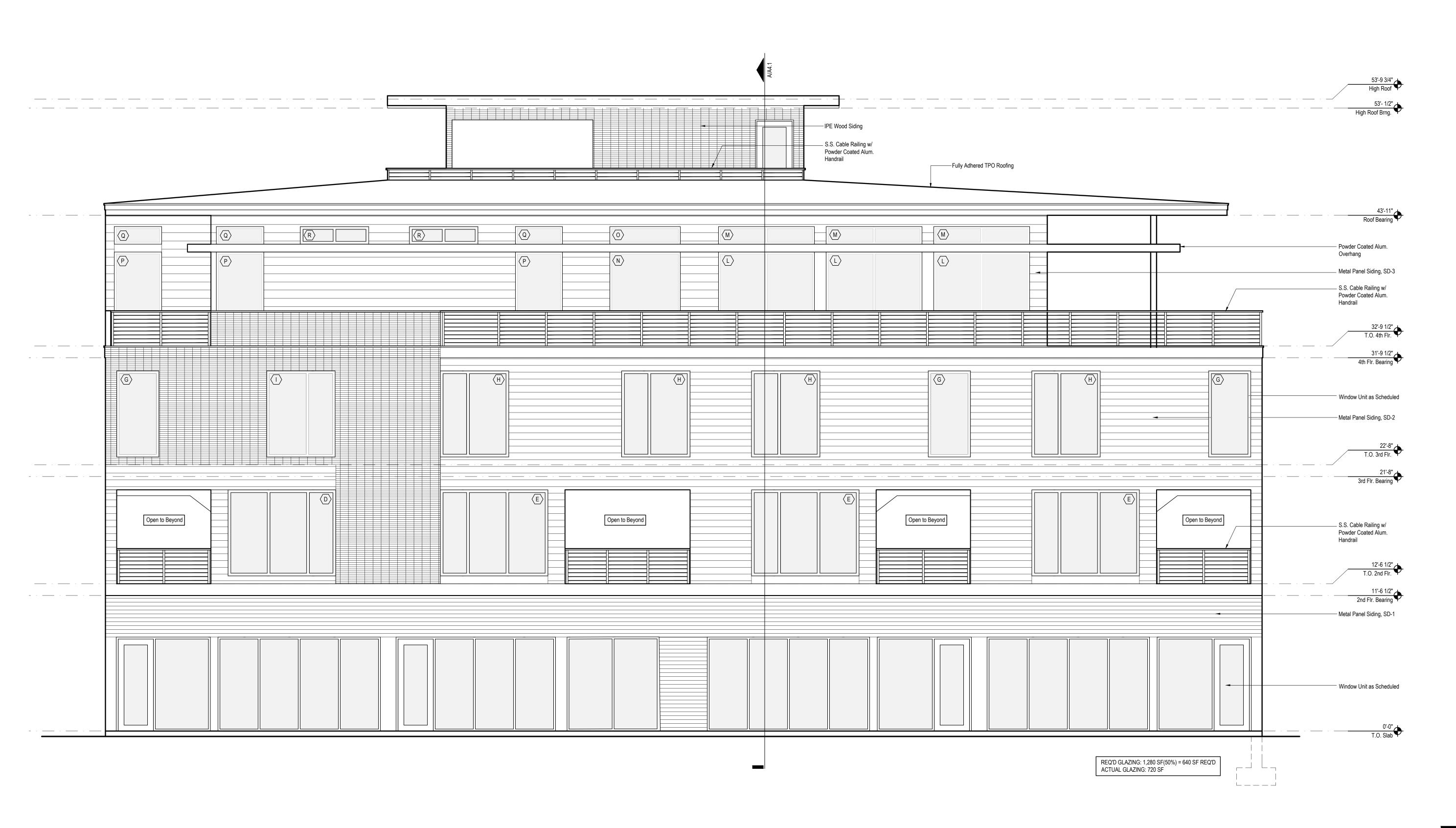
Landscape Design

Scale

15/ 9

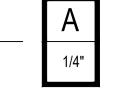
Revision

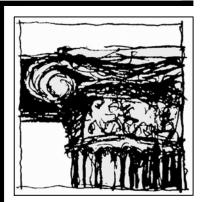
EXTERIOR MATERIAL SCHEDULE					
ARCH. LEGEND	ITEM DESCRIPTION	MANUFACTRUER/ VENDOR	ITEM NUMBER/ COLOR	CONTACT PERSON	SHOP DWGS./ SAMPLE REQ'D
TPO	TPO ROOFING	GAF EVERGUARD EXTREME 60 MIL	WHITE		YES
SD-1	METAL PANEL	ATAS INTERNATIONAL	METAFOR SMOOTH - CHARCOAL GREY		YES
SD-2	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 6 1/2) - DOVE GREY		YES
SD-3	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPF 8") - ASCOT WHITE		YES
STOREFRONT	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451/ BLACK		YES
WINDOWS	TYP. WINDOWS	QUAKER	CITY LINE/ BLACK		YES
TL-1	WOOD SIDING	NATURAL	IPE WOOD - SHIPLAP		YES



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West Elevation



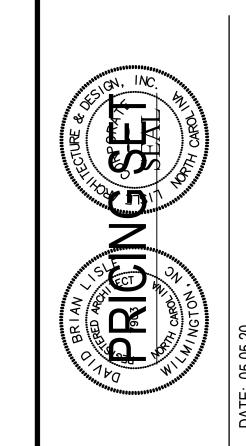


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323 W. Morgan St. Suite 100 Raleigh, NC 27601 (919) 980.0283 (o)

www.LisleArchitecture.com



THE MODERN 900 N. FOURTH ST. WILMINGTON, NC 28401

NO. REV./SUB. DATE

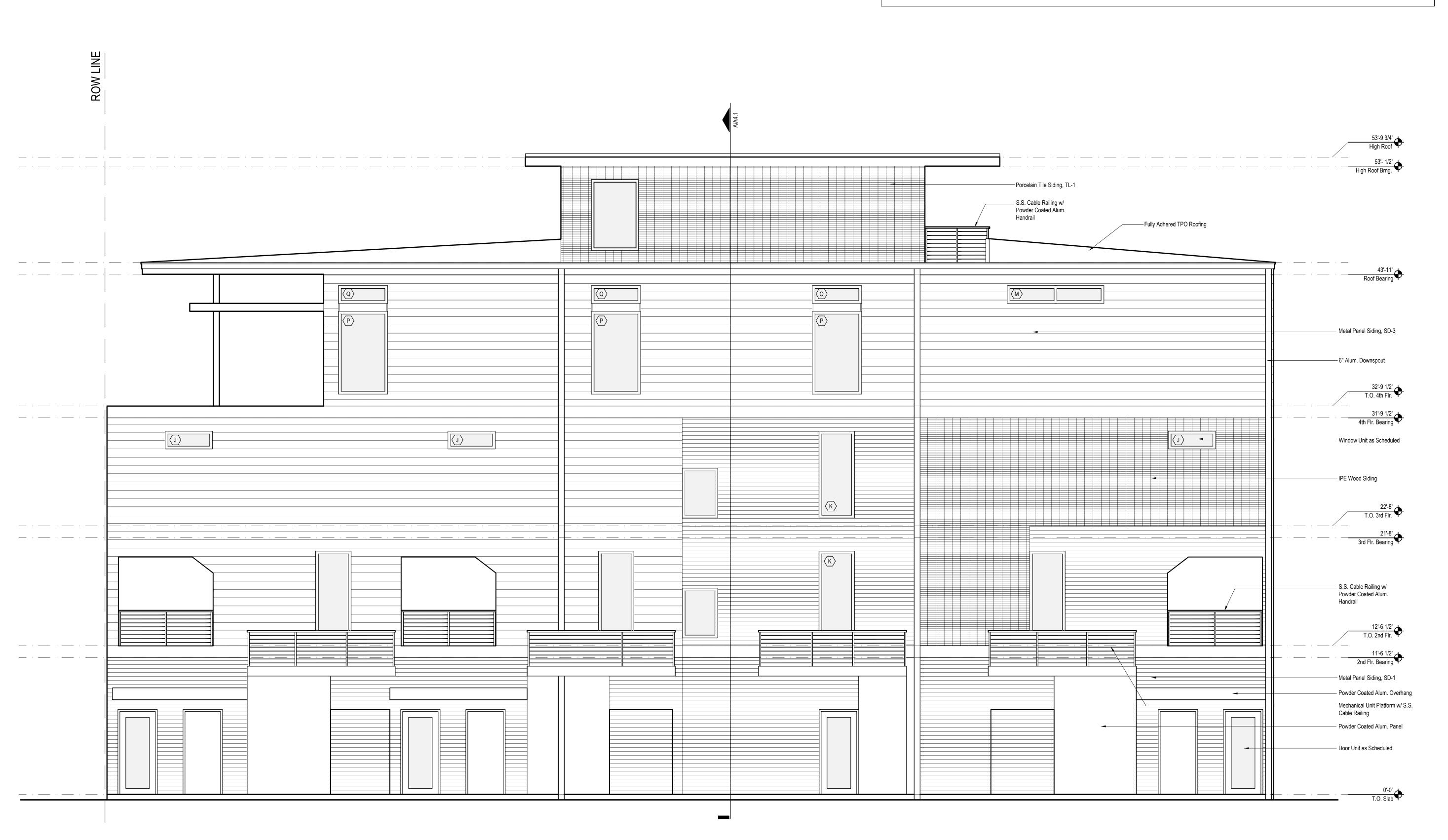
SHEET TITLE

Exterior Elevations

SHEET NUMBER

A2.1

EXTERIOR MATERIAL SCHEDULE						
ARCH. LEGEND	ITEM DESCRIPTION	MANUFACTRUER/ VENDOR	ITEM NUMBER/ COLOR	CONTACT PERSON	SHOP DWGS., SAMPLE REQ'[
TPO	TPO ROOFING	GAF EVERGUARD EXTREME 60 MIL	WHITE		YES	
SD-1	METAL PANEL	ATAS INTERNATIONAL	METAFOR SMOOTH - CHARCOAL GREY		YES	
SD-2	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 6 1/2) - DOVE GREY		YES	
SD-3	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPF 8") - ASCOT WHITE		YES	
STOREFRONT	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451/ BLACK		YES	
WINDOWS	TYP. WINDOWS	QUAKER	CITY LINE/ BLACK		YES	
TL-1	WOOD SIDING	NATURAL	IPE WOOD - SHIPLAP		YES	



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East Elevation



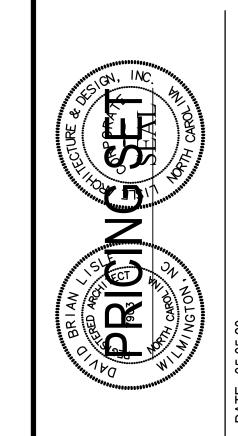


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NO. REV./SUB. DATE

SHEET TITLE

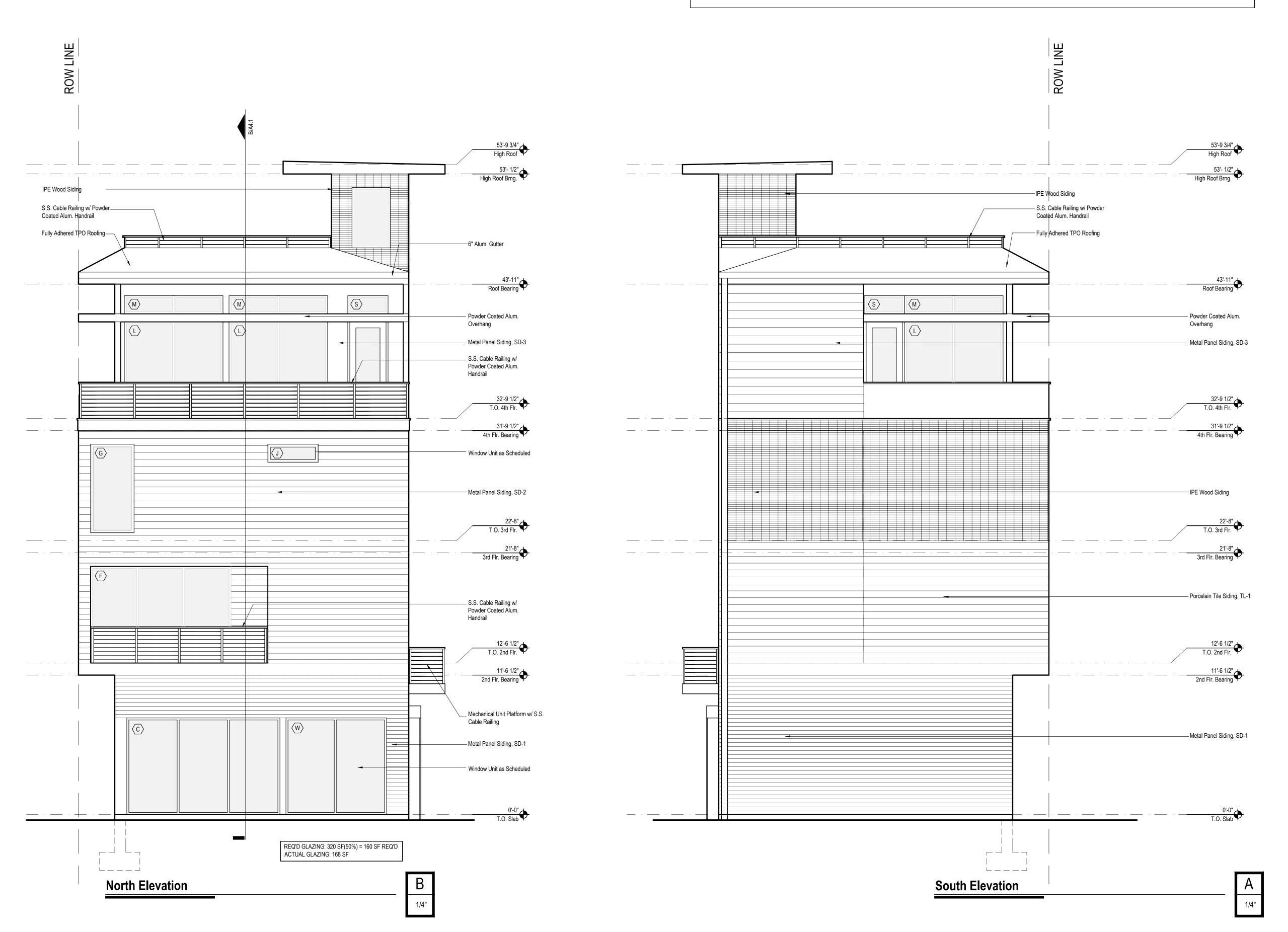
Exterior

Exterior Elevations

SHEET NUMBER

A2.2

	EXTERIOR MATERIAL SCHEDULE					
ARCH. LEGEND	ITEM DESCRIPTION	MANUFACTRUER/ VENDOR	ITEM NUMBER/ COLOR	CONTACT PERSON	SHOP DWGS./ SAMPLE REQ'D	
TPO	TPO ROOFING	GAF EVERGUARD EXTREME 60 MIL	WHITE		YES	
SD-1	METAL PANEL	ATAS INTERNATIONAL	METAFOR SMOOTH - CHARCOAL GREY		YES	
SD-2	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPW 6 1/2) - DOVE GREY		YES	
SD-3	METAL PANEL	ATAS INTERNATIONAL	OPALINE SMOOTH (OPF 8") - ASCOT WHITE		YES	
STOREFRONT	ALUMINUM STOREFRONT	KAWNEER	TRIFAB 451/ BLACK		YES	
WINDOWS	TYP. WINDOWS	QUAKER	CITY LINE/ BLACK		YES	
TL-1	WOOD SIDING	NATURAL	IPE WOOD - SHIPLAP		YES	



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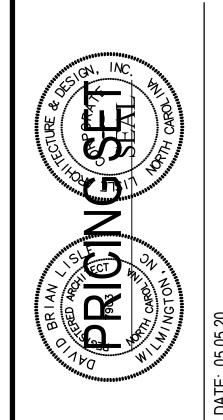


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THE MODERN 900 N. FOURTH ST. WILMINGTON, NC 28401

HT 906

SHEET TITLE

Exterior

Exterior Elevations

SHEET NUMBER

A2.3

The Modern

900 North 4th Street

Locate on the corner of North 4th and Bladen St., this building is intended to accentuate and contribute to the modern feel mixed uses of this growing arts district. The ground floor will be commercial spaces with an all glass street façade. The second and third floors will have two story walk- up apartments with private breezeway porches. The fourth floor will be a private residence with large covered porches and a rooftop garden. The materials are a horizontal mix of colors and materials. Large storefront windows and openings dominate the street façade metal panel that layer horizontally up the building. Accents of ceramic tile give warmth and add color.

Exterior Materials

900 North 4th Street Wilmington, NC

Top Level

Atlas International **Opaline Smooth** OPF 8"

Ascot White



Mid Level

Atlas International **Opaline Smooth** OPW 6 ½"

Dove Grey







